

FILING REQUIREMENTS AND CHECKLIST

Please initial or mark N/A to indicate you have completed the following requirements.

Application Package Checklist:

- | | | |
|----------------------------|-------------------------------------|---|
| | <input checked="" type="checkbox"/> | Cover letter describing proposed project. |
| | <input checked="" type="checkbox"/> | One copy of full sized (to scale) and one copy of reduced site plans. |
| | <input checked="" type="checkbox"/> | Site plans contain <u>all the data required</u> under Chapter 240.10.6 of the Code of the Town of Kennebunkport. If portions of 10.6 are not applicable, please submit in writing as to why. See Article 10.6 attached. |
| | <input checked="" type="checkbox"/> | Copy of the deed(s)/agreement(s). |
| N/A | <input type="checkbox"/> | Certificate of Good Standings, if corporation. |
| | <input checked="" type="checkbox"/> | Letter of authority, if using agent. |
| | <input checked="" type="checkbox"/> | List full names and current mailing addresses of owners of properties within 200' of the subject property. See FAQ for step by step. FAQ is available on the Town website or printed at the Codes and Planning Office. |
| | <input checked="" type="checkbox"/> | Copy of the tax map, highlighting your property. See FAQ for step-by-step. |
| DEP
decision
pending | <input type="checkbox"/> | Copy of official decisions (or note pending applications) of other Federal, State, or local agencies regarding the use of this property (Army Corps., D.E.P., etc.) |

Filing Requirements:

- ☐ Two paper copies of the application package to the Administrative Assistant.
- ☐ Email electronic version of application package to: afortier@kennebunkportme.gov.
- ☐ Mail one paper copy of the application package to each Planning Board Member (address as provided in application materials).
- ☐ Pay all fees associated.

Please see attached Town of Kennebunkport's Land Use Ordinance § 240-10.6 "Submissions and requirements" for an exhaustive list and description of application requirements.

APPLICATION FOR SITE PLAN REVIEW

KENNEBUNKPORT PLANNING BOARD

Subject Property Location: 438 Kings Highway

Zone: GR Tax Assessor's Map: 33 Block: 2 Lot: 27

Shoreland: ☒ Resource Protection: ☐

Lot Size: 23,793.7 SF within Shoreland Zone / Total 87,120 SF

Existing Use of Property: Residential

Proposed Use of Property: No Change

Type of Sewage Disposal:

None: ☐ Private Septic: ☐ Public Sewer: ☒

Water Supplied by: _____

None: ☐ Private Well: ☐ Public KKWD: ☒

Describe new structures, additions to existing structures and alterations proposed:

The proposed project is to build a new 728 SF Garage

Percentage of lot occupied by buildings:

Existing: 15.6% Proposed: 18.6 %

Percentage of lot occupied by other impervious (parking, walkways, etc):

Existing: 10.1% Proposed: 10.1%

Exterior footprint of existing or proposed structure:

Existing: 3706.9 SF Proposed: 4434.9 SF

Interior Square Footage:

Existing: _____ N/A _____ Proposed: _____

If volume expansion, interior volume:

Existing: _____ N/A _____ Proposed: _____

Details on easements or other restrictions on the property. *Attach deeds and/ or agreements.*

Please see deed attached.

Applicant; Owner of Record:

Name: Maura and Francis Perier

Address: 3 Plymouth Road
(street)

Summit, NJ 07901

(city)

(state)

(Zip)

Phone: Email: frank.perier@verizon.netx

Authorized Agent, If Applicable:

Name: Kristi Kenney, AIA / KW Architects

Address: PO Box 404
(street)

Wells,

Maine

04090

(city)

(state)

(Zip)

Phone: 207-332-9199 Email: kristi@maine-architects.com


If applicant is a corporation, check if licensed in Maine: Yes ☐ No ☒ and attach a copy of State's "Certificate of Good Standing".

Note: All applications must conform to the Code of the Town of Kennebunkport and all applicable local, State and Federal ordinances. Planning Board approval is required before any building permit can be issued by the Code Enforcement Officer.

All fees must accompany this application

To the best of my knowledge, all information submitted on this application is true and correct. All proposed uses will be in conformance with the application and the Code of the Town of Kennebunkport.

I understand that if my application is approved by the Planning Board, I MUST take out a permit within 180 days of the date of Planning Board Approval, per Chapter 240.11.7.B of the Code of the Town of Kennebunkport.

Signature  _____ Date: 3-18-24

For Office Use Only

Date Received: _____ Application Fee Paid: _____
Paid by (payment type/name): _____
Postage Fee Paid: _____
Legal Notice Posting Fee Paid: _____
Total Fee: _____



March 19, 2024

Project Narrative: 438 Kings Highway, Kennebunkport, Maine

To the Town of Kennebunkport Planning Board Members:

Please find attached the Site Plan Review Application submitted on behalf of Maura and Francis Perier, the owners of the parcel identified as Tax Map 33, Block 2, Lot 27 in Kennebunkport, Maine. The proposed project is to build a new 728 SF Garage on a lot with an existing house within the 250' Shoreland zone setback.

Including the proposed garage, new driveway area, existing house, deck and stone patios to remain, the sum total of all building footprints in the proposed site plan comprises 25.7% of the lot, which is the same lot coverage as existing. The 21'-5 1/2" +/- height of the proposed garage roof peak will be far below the 30' limit and will be below the ridge of the existing house. No more water will leave the post-development site than current conditions. And any areas disturbed during construction will be covered in loam and seeded. Additionally, this project is currently in the application process with the DEP.

In summary, the owners of 438 Kings Highway, Maine seek to construct a new garage. Building footprint, lot development, and all other DEP Coastal Dune Project standards have been met and are further detailed in the enclosed materials.

Kristi Kenney, AIA
KW Architects P.C.
PO Box 404
Wells, Maine 04090
(207) 332-9199
kristi@maine-architects.com
www.maine-architects.com
Maine Registered Architect

After recording return to:
HODSDON & AYER
56 Portland Road
Kennebunk, Maine 04043

NANCY E HAMMOND, REGISTER OF DEEDS
E-RECORDED **Bk 18494 PG 255**
Instr # 2020065853
12/18/2020 03:53:18 PM
Pages 2 YORK CO

Space Above This Line For Recording Data

TRUSTEE'S DEED

We, **PAUL J. NAZZARO** and **GIULIA M. NAZZARO**, Trustees of the **106 Kings Highway Realty Trust** under Declaration of Trust dated January 5, 2015, for consideration paid, grants and conveys onto **Francis I. Perier, Jr.** and **Maura C. Perier** of 3 Plymouth Road, Summit, New Jersey., with WARRANTY COVENANTS and as Joint Tenants, the land with the improvements thereupon, located in the Town of Kennebunkport, County of York and State of Maine, bounded and more particularly described as follows:

SEE EXHIBIT "A" ATTACHED HERETO AND INCORPORATED
HEREIN

IN WITNESS WHEREOF, we **Paul J. Nazzaro** and **Giulia M. Nazzaro**, Trustees of the
aforementioned Trust, has hereunto set my hand and seal on this 14 day of December, 2020.

106 Kings Highway Realty Trust

Witness

Witness

By: **Paul J. Nazzaro**, Trustee

By: **Giulia M. Nazzaro**, Trustee

COMMONWEALTH OF MASSACHUSETTS
County of Middlesex

December 14, 2020

Then personally appeared the above-named **Paul J. Nazzaro** and **Giulia M. Nazzaro**, as Trustees of the **106 Kings Highway Realty Trust**, who acknowledged the foregoing instrument to be their free act and deed in said capacity.

Before me,

PRINT NAME: Abigail Meuse



ABIGAIL MEUSE
Notary Public
Commonwealth of Massachusetts
My Commission Expires July 22, 2027

2027

Maine R.E. Transfer Tax Paid

EXHIBIT A

A certain lot or parcel of land together with any buildings and improvements thereon situated in Kennebunkport, in that section known as Goose Rocks Beach, in the County of York and State of Maine, and being Lot Numbered Fourteen (14) as shown on a plan entitled, 'Plan of Land in Emmons, Heirs-Beachwood, Maine' dated December, 1921 and recorded in the York County Registry of Deeds at Plan Book 8, Page 73. Said lot extending from the Marsh to the Beach as shown on said Plan.

The Granters also release, without covenants, any right, title and interest they may have in that portion of the elongation of Lot 14 as shown on said Plan in a Northwesterly direction from the Marsh to the center of the Batson River.

EXCEPTING therefrom certain real property conveyed by deed of Spang Enterprises, Inc. to Dale S. Strohl and Margaret Thomas Goldstein dated August 9, 1991 and recorded in the York County Registry of Deed in Book 5795, Page 302.

ALSO EXCEPTING AND RESERVING therefrom any interest which the public and owners of other lots as shown on said Plan may have in and to the roadway which intersects said Lot.

ALSO EXCEPTING AND RESERVING therefrom an easement to keep, maintain and repair overhead electrical lines which service Lot 13 as shown on said "Plan Showing a Survey of the Line Between Lots 14 and 14" dated November 20, 1973 and recorded in the York County Registry of deeds at Plan Book 66 Page 16.

The above-described premises is conveyed TOGETHER with a right-of-way and other rights as are set forth in the deed from Spang Enterprises, Inc. to Dale S. Strohl and Margaret Thomas Goldstein dated August 9, 1991 and recorded in the York County Registry of Deeds in Book 5795, Page 302.

Meaning and intending to convey and hereby conveying the same premises conveyed to the Grantors by deed dated January 5, 2015 and recorded with the York County Registry of Deeds at Book 16954 Page 975.



Kristi Kenney <kristi@maine-architects.com>

Re: Letter of authorization

1 message

Frank Perier Jr <frank.perier@verizon.net>

Tue, Mar 19, 2024 at 7:54 PM

To: Kristi Kenney <kristi@maine-architects.com>

Cc: "Maura & Frank Perier (maura.perier@verizon.net)" <maura.perier@verizon.net>

Kristi

We authorize you to submit to the Planning Board, Department of Environmental Protection and building permits for our residence.

Many thanks,

Frank



200 foot Abutters List Report

Kennebunkport, ME

March 19, 2024

Subject Property:

Parcel Number: 33-2-27
CAMA Number: 33-2-27
Vision ID: 2425
Property Address: 438 KINGS HIGHWAY

Mailing Address: PERIER, MAURA C & FRANCIS L., JR
3 PLYMOUTH ROAD
SUMMIT, NJ 07901

Abutters:

Parcel Number: 33-1-23
CAMA Number: 33-1-23
Vision ID: 2386
Property Address: 449 KINGS HIGHWAY

Mailing Address: GREGORY, CHARLES J & PHILIP L JR
116 LORDS LANE
LYMAN, ME 04002

Parcel Number: 33-1-24
CAMA Number: 33-1-24
Vision ID: 2387
Property Address: 443 KINGS HIGHWAY

Mailing Address: SHERMAN, ROBERT F & CAROLYN K
443 KINGS HIGHWAY
KENNEBUNKPORT, ME 04046

Parcel Number: 33-1-25
CAMA Number: 33-1-25
Vision ID: 2388
Property Address: 437 KINGS HIGHWAY

Mailing Address: BARRY V & HARRIET M ENGEL TRUST
1 CHARLES ST., S, UNIT 505
BOSTON, MA 02116

Parcel Number: 33-1-26
CAMA Number: 33-1-26
Vision ID: 2389
Property Address: 423 KINGS HIGHWAY

Mailing Address: ROBERT & JANE GARVEY REVOC
TRUST
38 WINTHROP STREET
CHARLESTOWN, MA 02129

Parcel Number: 33-1-34
CAMA Number: 33-1-34
Vision ID: 2397
Property Address: 419 KINGS HIGHWAY

Mailing Address: ROBERT M BAYLIS IRREVOCABLE
TRUST
116 DELAFIELD ISLAND ROAD
DARIEN, CT 06820

Parcel Number: 33-2-2
CAMA Number: 33-2-2
Vision ID: 2400
Property Address: BATSON RIVER

Mailing Address: PETERS, SUSAN BABCOCK
46 SILVER HILL LANE #3
NATICK, MA 01760

Parcel Number: 33-2-3
CAMA Number: 33-2-3
Vision ID: 2401
Property Address: BATSON RIVER

Mailing Address: LUSH, JOHN & FAITH
24 NORWOOD LANE
KENNEBUNKPORT, ME 04046

Parcel Number: 33-2-4
CAMA Number: 33-2-4
Vision ID: 2402
Property Address: 434 KINGS HIGHWAY

Mailing Address: HEAPHY, LOIS
237 MONSON ROAD
WILBRAHAM, MA 01095



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/19/2024

Page 1 of 2



200 foot Abutters List Report

Kennebunkport, ME

March 19, 2024

Parcel Number: 33-2-5
CAMA Number: 33-2-5
Vision ID: 2403
Property Address: 442 KINGS HIGHWAY

Mailing Address: JMS REALTY TRUST
442 KINGS HIGHWAY
KENNEBUNKPORT, ME 04046

Parcel Number: 33-2-6
CAMA Number: 33-2-6
Vision ID: 2404
Property Address: 448 KINGS HIGHWAY

Mailing Address: MARY C. KUDAROSKI REVOCABLE
TRUST
99 HANOVER STREET #501
PORTSMOUTH, NH 03801

Parcel Number: 33-2-8
CAMA Number: 33-2-8
Vision ID: 3860
Property Address: 456 KINGS HIGHWAY

Mailing Address: HOWARD J NIXON FAMILY
IRREVOCABLE TRUST
242 FLANDERS STREET
SOUTHINGTON, CT 06489

Parcel Number: 33-2-9
CAMA Number: 33-2-9
Vision ID: 2406
Property Address: BATSON RIVER

Mailing Address: KENNEBUNKPORT CONSERVATION
TRUST
PO BOX 7267
CAPE PORPOISE, ME 04014



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

3/19/2024

Page 2 of 2

Perier Residence - New Garage

438 Kings Highway
Kennebunkport, Maine
Tax Map 33-2 and Lot 27

General Notes:

Sheet Index:



The scope of work for this application is limited to the site and building design for the new garage. Renovations to the main house will be permitted seperately and are shown here only for Artistic Rendering.

1. DIMENSIONS WHERE PROVIDED SHALL TAKE PRECEDENT OVER SCALE OF DRAWINGS. CONTRACTOR SHALL MEASURE AND VERIFY ALL DIMENSIONS AT WORK.
2. CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY INCONSISTANCIES OR ERRORS IN THE CONSTRUCTION DOCUMENTS. IF CONTRACTORS KNOWINGLY DO NOT NOTIFY THE ARCHITECT OF SUCH AMBIGUITY, INCONSISTANCY OR ERROR, THEY THEREFORE ACCEPT SUCH CONDITIONS AN WILL MAKE SUCH ADDITIONS OR CORRECTIONS NECESSARY TO PROPERLY COMPLETE THE WORK AT THEIR EXPENSE.
3. ALL WORK SHALL CONFORM TO THE APPLICABLE STATE, LOCAL AND/OR FEDERAL CODES AND/OR ORDINANCES.
4. CONTACT LOCAL UTILITY COMPANIES TO LOCATE ANY EXISTING UNDERGROUND UTILITIES BEFORE COMMENCING SITE WORK.
5. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE PRESERVATIVE TREATED.
6. ALL GRADING SHALL PROVIDE POSITIVE DRAINAGE FOR ALL AREAS OF THE SITE.
7. DESIGN AND INSTALLATION OF THE MECHANICAL SYSTEMS IS THE RESPONSIBILITY OF THE MECHANICAL SUBCONTRACTOR AND MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
8. DESIGN AND INSTALLATION OF THE ELECTRICAL SYSTEMS IS THE RESPONSIBILITY OF THE ELECTRICAL SUBCONTRACTOR AND MUST COMPLY WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND AUTHORITIES HAVING JURISDICTION.
9. PROVIDE ALL NECESSARY BLOCKING TO RECEIVE CABINETS, SHELVING, ACCESSORIES, CURTAIN RODS, AND ANY OTHER BUILT IN EQUIPMENT SHOWN ON THE DRAWINGS.
10. FRAME ALL EXTERIOR DECKS AND STAIRS WITH PRESSURE PRESERVATIVE TREATED LUMBER.
11. PROVIDE 6" MIN. CLEARANCE FROM BOTTOM OF SIDING OR 8" MINIMUM CLEARANCE FROM THE TOP OF THE FOUNDATION TO FINISH GRADE AT PERIMETER OF BUILDING WHICHEVER IS GREATER
12. INSTALL COPPER OR GALVANIZED METAL DRIP EDGE AT ALL RAKES AND EAVES.
13. INSTALL MOISTURE RESISTANT "MR" GYPSUM BOARD AT WALLS AND CEILINGS OF BATHROOMS/SHOWER ROOMS.
14. CONTINUE GYPSUM BOARD BEHIND ALL FIXTURES AND CABINETS AT ALL FIRE RATED AND SOUND RATED WALLS.
15. BATH FIXTURES AND ACCESSORIES TO BE SELECTED BY OWNER.
16. CAULK ALL SINKS TO COUNTERTOPS.
17. INSTALL 5 SHELVES IN ALL LINEN CLOSETS.
18. INSTALL SHELF AND POLE IN ALL CLOSETS UNLESS OTHERWISE NOTED OR DETAILED. TOP OF SHELF SHALL BE AT 5'-6" A.F.F. UNLESS OTHERWISE NOTED.
19. UNAUTHORIZED CHANGES: IN THE EVENT THAT THE CLIENT, CLIENT'S CONTRACTORS OR SUBCONTRACTORS, OR ANYONE WHOM THE CLIENT IS LEGALLY LIABLE CONSENTS TO, ALLOWS, AUTHORIZES, OR APPROVES OF CHANGES TO ANY REPORTS, PLANS, SPECIFICATIONS, OR OTHER DOCUMENTS, INCLUDING ELECTRONIC FILES, AND THESE CHANGES ARE NOT APPROVED IN WRITING BY THE ARCHITECT, THE CLIENT RECOGNIZES THAT SUCH CHANGES AND RESULTS THEREOF ARE NOT THE RESPONSIBILITY OF THE ARCHITECT. THEREFORE, THE CLIENT AGREES TO WAIVE ANY CLAIM AGAINST THE ARCHITECT AND TO RELEASE THE ARCHITECT FROM ANY LIABILITY ARISING DIRECTLY OR INDIRECTLY FROM SUCH CHANGES.
21. PROVIDE AND INSTALL ALL ROUGH HARDWARE SUCH AS NAILS, SCREWS, CLIPS AND OTHER FRAMING DEVICES SHOWN OR REQUIRED FOR SECURING ITEMS OF ROUGH CARPENTRY.
22. ANY DOORS NOT LOCATED DIMENSIONALLY ARE TO BE 6" MIN. OFF ADJACENT WALL AT HINGE SIDE OF DOOR.
- NOTE: THIS DRAWING IS PART OF A FULL SET OF DRAWINGS COMPRISING THE CONTRACT DOCUMENTS FOR THE WORK OF THIS PROJECT. THE ARCHITECT / OWNER ACCEPTS NO RESPONSIBILITY FOR THE CONTRACTORS' ERRORS OR OMISSIONS IF EACH TRADE DOES NOT HAVE THE FULL SET OF DRAWINGS AND SPECIFICATIONS.

Contact Info:

Owner:

Maura and Francis Perier
438 Kings Highway
Kennebunkport, Maine

Architect:

KW Architects
PO Box 404
Wells, Maine 04090
207-332-9199

Contractor:

TBD

Abbreviations & Symbols:

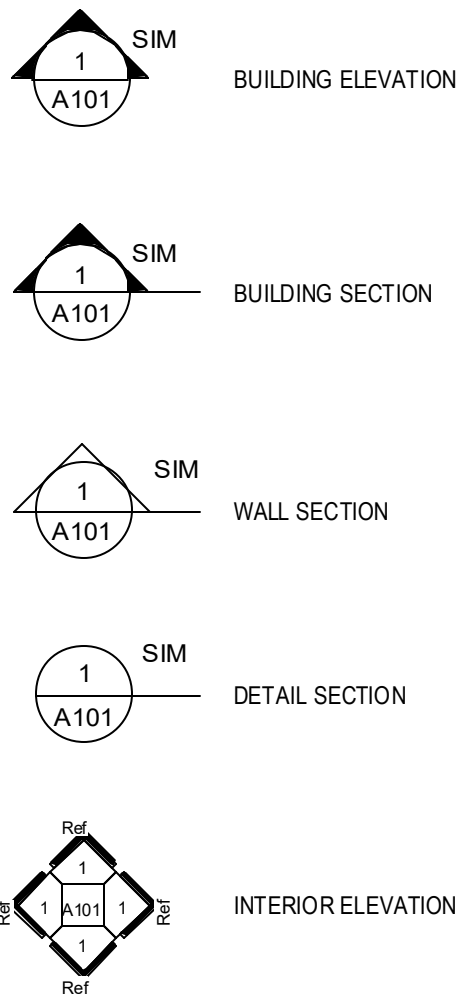
@ C	AT CENTER LINE	N N.I.C. NO.	NORTH NOT IN CONTRACT NUMBER
ACOUS ARCH BD BLDG BOT.	ACOUSTICAL ARCHITECTURAL BOARD BUILDING BOTTOM	O.H.	OVERHEAD
CAB. CLG CL COL CONC CONT	CABINET CEILING CLOSET COLUMN CONCRETE CONTINUOUS	PLYWD. P.T. PVC R RAD. REINF. R.O.	PLYWOOD PRESSURE TREATED POLYVINYL CHLORIDE RISER RADIUS REINFORCED ROUGH OPENING
DBL DIA DET DN DW DWG	DOUBLE DIAMETER DETAIL DOWN DISHWASHER DRAWING	SECT. SHT. SIM. STL STOR. STRUCT. SUSP.	SECTION SHEET SIMILAR STEEL STORAGE STRUCTURAL SUSPENDED
EL EXIST EQ	ELEVATION EXISTING EQUAL	T&G TYP T.W. T.O.W. T.O.S. U.N.O.	TONGUE AND GROOVE TYPICAL TO THE WEATHER TOP OF WALL TOP OF SLAB UNLESS NOTED OTHERWISE
HORIZ HGT	HORIZONTAL HEIGHT	V.I.F W/ WD WH W/O W.W.F.	VERIFY IN FIELD WITH WASHER/DRYER WATER HEATER WITH OUT WELDED WIRE FABRIC
INSUL	INSULATION		
LAV	LAVATORY		
MAX MECH MFR MIN M.O.	MAXIMUM MECHICAL MANUFACTURER MINIMUM MASONRY OPENING		

Room name

100 SF	ROOM LABEL
100	DOOR TAG
1	WINDOW TYPE
EWB	WALL TYPE
ACT OWB	CEILING LABEL
1	DEMO LABEL
1	INTERIOR LABEL
0	COLUMN LINE HEAD LABEL

Name
Elevation

VERTICAL ELEVATION



CONCRETE	PLYWOOD
CONCRETE MASONRY UNIT	GYPSUM BOARD
BRICK	BATT INSULATION
GRAVEL	RIGID INSULATION
SOIL	CLOSED CELL SPRAYFOAM INSULATION
STEEL	EXPANSION MATERIAL
WOOD FRAMING	FINISH WOOD
WOOD BLOCKING	CROWN MOLDING
	CHAIR RAIL

CODE SUMMARY

2015 MUBEC / INTERNATIONAL RESIDENTIAL CODE - 2015 EDITION

R301.2.1.4 EXPOSURE CATEGORY
THE SITE OF THIS BUILDING IS LOCATED IN AN AREA WHICH WOULD BE CATEGORIZED AS EXPOSURE B.

R301.2.2 SEISMIC PROVISIONS
THE SITE OF THIS BUILDING IS LOCATED IN A SEISMIC DESIGN CATEGORY B.

R301.2.4 FLOOD PLAIN CONSTRUCTION
THE SITE OF THIS BUILDING IS NOT LOCATED IN A FLOOD PLAIN.

R301.6 ROOF LOAD
THIS BUILDING HAS BEEN DESIGNED TO SUPPORT SNOW LOADS OF 50#/SF.

R302.7 UNDER STAIR PROTECTION
THE ACCESSIBLE SPACE UNDER THE STAIRS WILL BE ENCLOSED WITH A MIN. OF 1/2" GYPSUM BOARD.

R302.11 FIREBLOCKING
FIREBLOCKING SHALL BE PROVIDED AS REQUIRED BY THIS SECTION.

R308 GLAZING
THIS BUILDING HAS BEEN DESIGNED TO PROVIDE SAFETY GLAZING WHERE REQUIRED BY R308.4. *WINDOW SUPPLIER SHALL CONFIRM THAT ALL SAFETY GLAZING IS PROVIDED WHERE REQUIRED.

R311.7.7 HANDRAILS
HANDRAILS ARE PROVIDED ON AT LEAST ONE SIDE OF ALL STAIR RUNS. THEY ARE BETWEEN 34" AND 38" HIGH ABOVE THE NOSING OF THE TREAD.

R312 GUARDS
GUARDS AT PORCHES, OPEN SIDES OF STAIRS AND BALCONIES ARE 36" HIGH. OPENINGS AT GUARDS ARE LESS THAN 4"

ELECTRICAL SUBCONTRACTOR SHALL INSTALL SMOKE AND CARBON MONOXIDE ALARMS PER THE REQUIRED NEC CODE.

CHAPTERS 25 THROUGH 33: GENERAL PLUMBING REQUIREMENTS
THIS WORK IS TO BE DESIGNED AND BUILT BY THE PLUMBING SUBCONTRACTOR.

CHAPTERS 34 THROUGH 41: ELECTRICAL SYSTEMS
IS TO BE DESIGNED AND BUILT BY THE ELECTRICAL SUBCONTRACTOR

Planning Board Submittal

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



Perier Residence
438 Kings Highway
Kennebunkport, Maine

REVISIONS

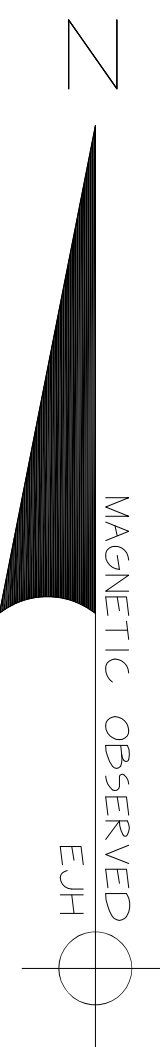
#	Date	Description

Date:	03/18/24
Project #	230103
Drawn By:	AEP
Checked By:	KK
Drawing Scale	As indicated

SHEET TITLE

Cover Sheet

00



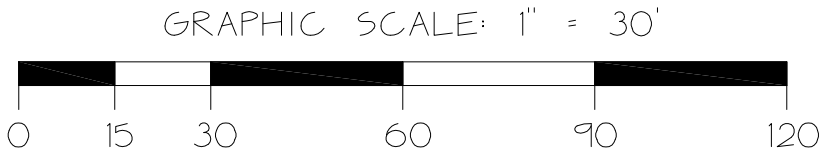
SHORELAND COVERAGE CHART	
DRIVEWAY + STONE WALL	1002.4 SQ.FT.
STRUCTURE + UTILITIES	3706.9 SQ.FT.
STONE PATIO / WALKWAY	1409.5 SQ.FT.
TOTAL COVERAGE	6118.8 SQ.FT.
TOTAL LOT AREA WITHIN SHORELAND	23793.7 SQ.FT.
% COVERAGE IN SHORELAND ZONE	25.7%

[illegible]

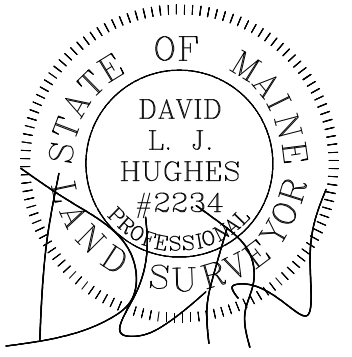
REMAINS OF IPF
0.6' BELOW GRADE

2. THE EXISTING FIRST FLOOR ELEVATION IS 14.2' NAVD88.

N/F - NOW OR FORMERLY
TM - TAX MAP
IPF - IRON PIPE FOUND
CIRF - CAPPED IRON ROD FOUND
MONF - STONE MONUMENT FOUND
CIRF - CAPPED IRON ROD SET
UP. - UTILITY POLE
CIR (TBS) - CAPPED IRON ROD (TO BE SET)



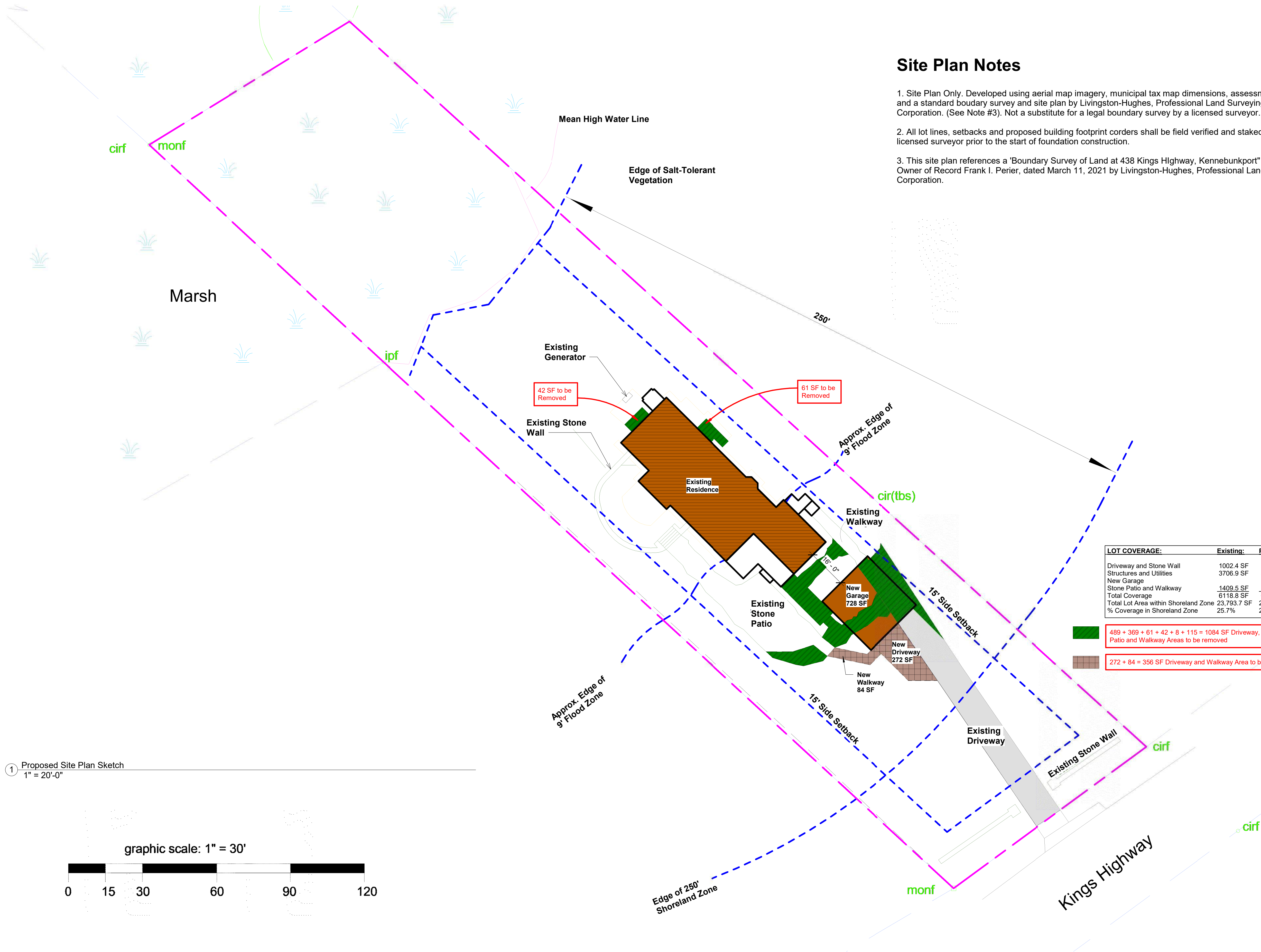
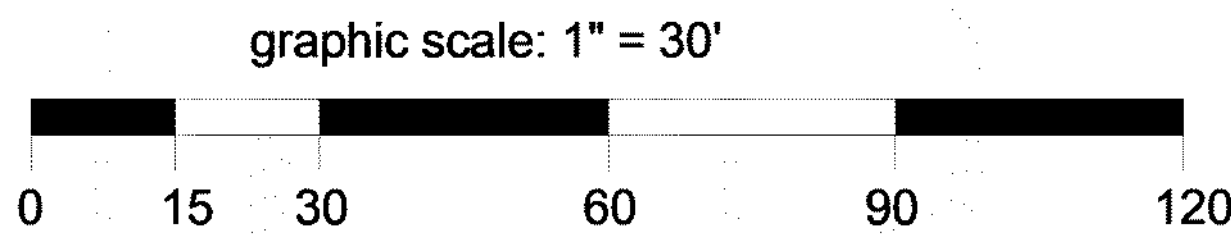
BY
LIVINGSTON-HUGHES
PROFESSIONAL LAND SURVEYING CORPORATION
3 GUINEA ROAD, KENNEBUNKPORT, MAINE 04046



REVISION NO.	3500 BOWEN ROAD, KENNEDYDALE CRT, MIMINE SATO						
1	DAVID L.J. HUGHES	PL5# 2234	DATE: 03-11-2021	DRAWN: E.J.H	CHECK: D.L.J.H	FIELD BOOK: 1104-76	PROJECT: 21-001



1 Proposed Site Plan Sketch
1" = 20'-0"



Site Plan Notes

1. Site Plan Only. Developed using aerial map imagery, municipal tax map dimensions, assessment records and a standard boudary survey and site plan by Livingston-Hughes, Professional Land Surveying Corporation. (See Note #3). Not a substitute for a legal boundary survey by a licensed surveyor.
2. All lot lines, setbacks and proposed building footprint corders shall be field verified and staked out by a licensed surveyor prior to the start of foundation construction.
3. This site plan references a "Boundary Survey of Land at 438 Kings Highway, Kennebunkport" made for Owner of Record Frank I. Perier, dated March 11, 2021 by Livingston-Hughes, Professional Land Surveying Corporation.

LOT COVERAGE:	Existing:	Proposed:
Driveway and Stone Wall	1002.4 SF	905.4 SF
Structures and Utilities	3706.9 SF	3706.9 SF
New Garage		728 SF
Stone Patio and Walkway	1409.5 SF	773.5 SF
Total Coverage	6118.8 SF	6118.8 SF
Total Lot Area within Shoreland Zone	23,793.7 SF	23,793.7 SF
% Coverage in Shoreland Zone	25.7%	25.7%

- 489 + 369 + 61 + 42 + 8 + 115 = 1084 SF Driveway, Stone Patio and Walkway Areas to be removed
- 272 + 84 = 356 SF Driveway and Walkway Area to be added

Planning Board Submittal

KW Architects

Kristi Kenney, RA

PO Box 404

Wells, Maine 04090

(207) 332-9199

ARCHITECTS

Perier Residence

438 Kings Highway

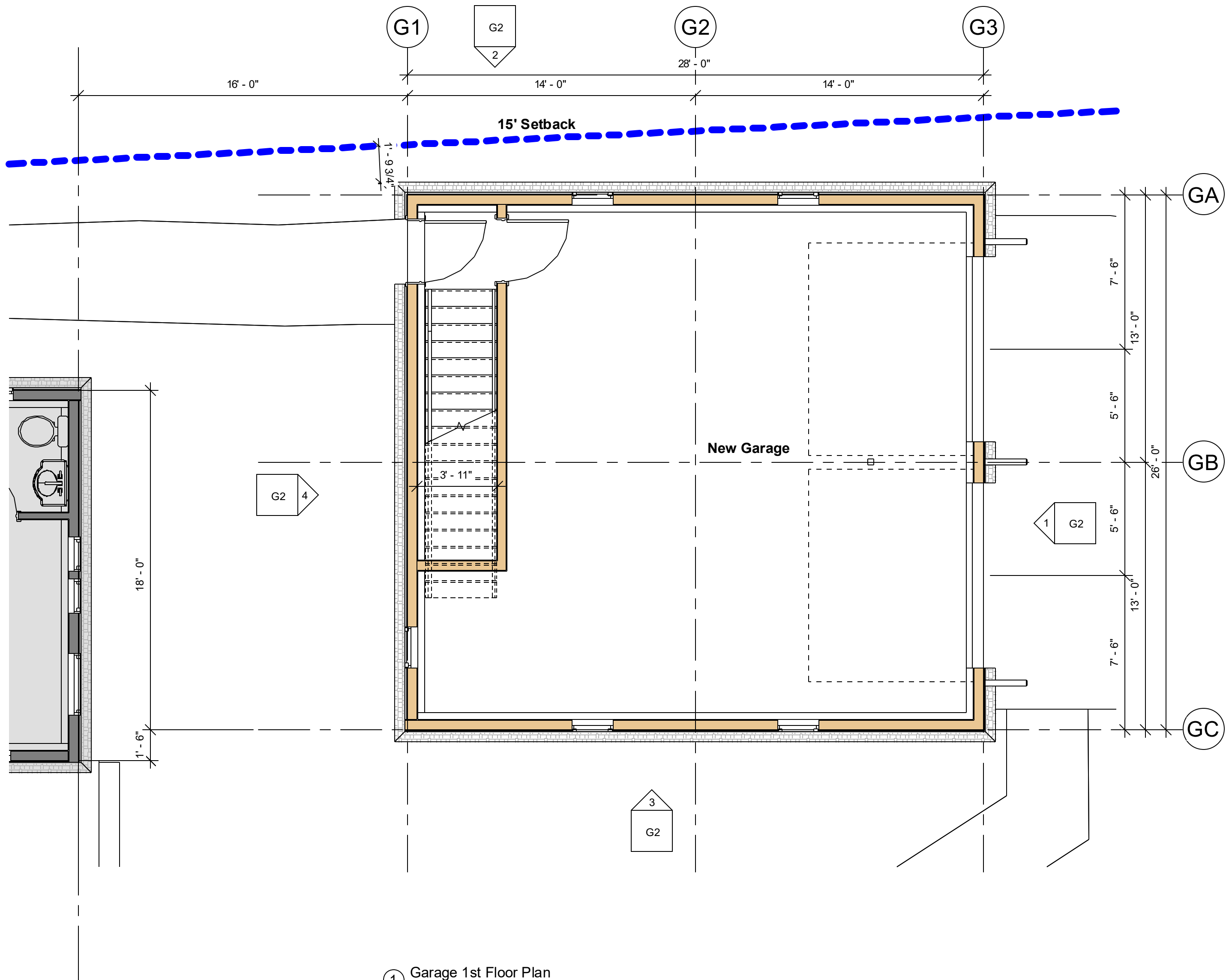
Kennebunkport, Maine

REVISIONS		
#	Date	Description

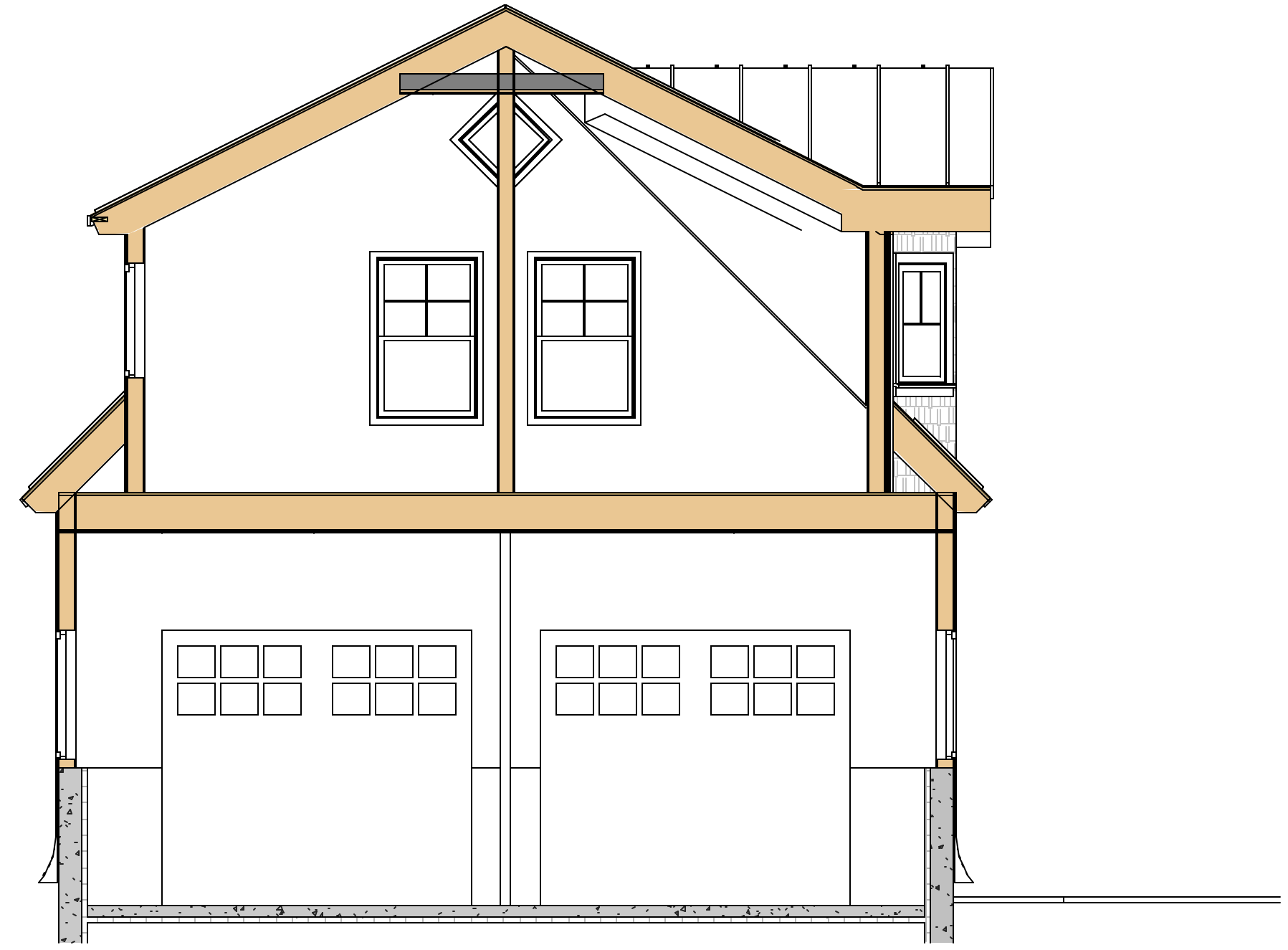
Date:	03/18/24
Project #	230103
Drawn By:	KK
Checked By:	KK
Drawing Scale	As indicated

SHEET TITLE
Site Plan

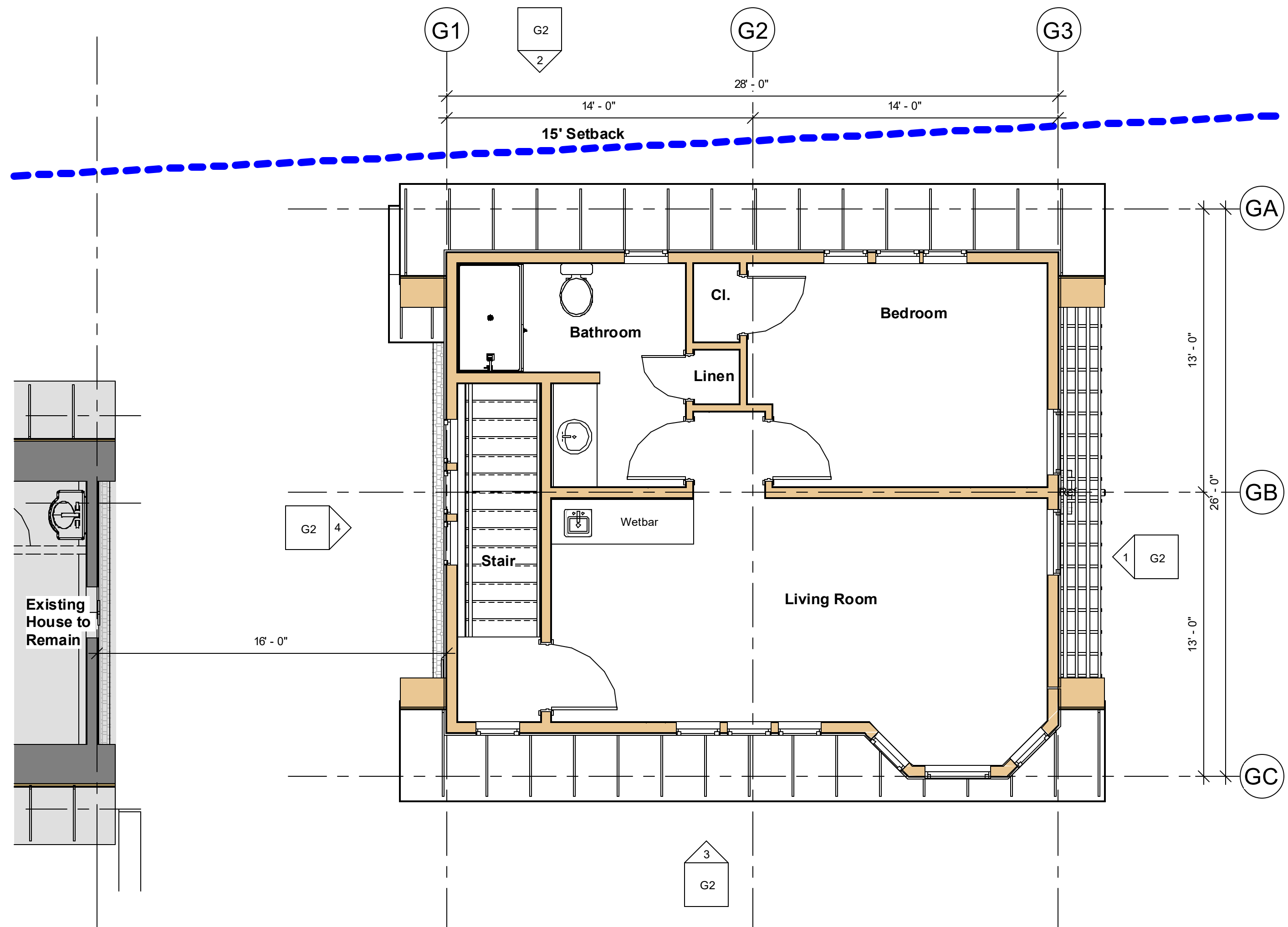
01



① Garage 1st Floor Plan
1/4" = 1'-0"

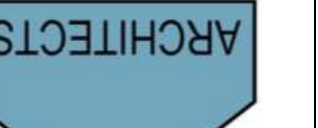


③ Garage Section
1/4" = 1'-0"



② Garage 2nd Floor Plan
1/4" = 1'-0"

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



Perier Residence
438 Kings Highway
Kennebunkport, Maine

REVISIONS

#	Date	Description

Date:	03/18/24
Project #	230103
Drawn By:	AEP
Checked By:	KK
Drawing Scale	1/4" = 1'-0"

SHEET TITLE

Garage Plans

GI

© COPYRIGHT 2024
Reproduction or reuse of this document without
written permission of KW Architects is prohibited.

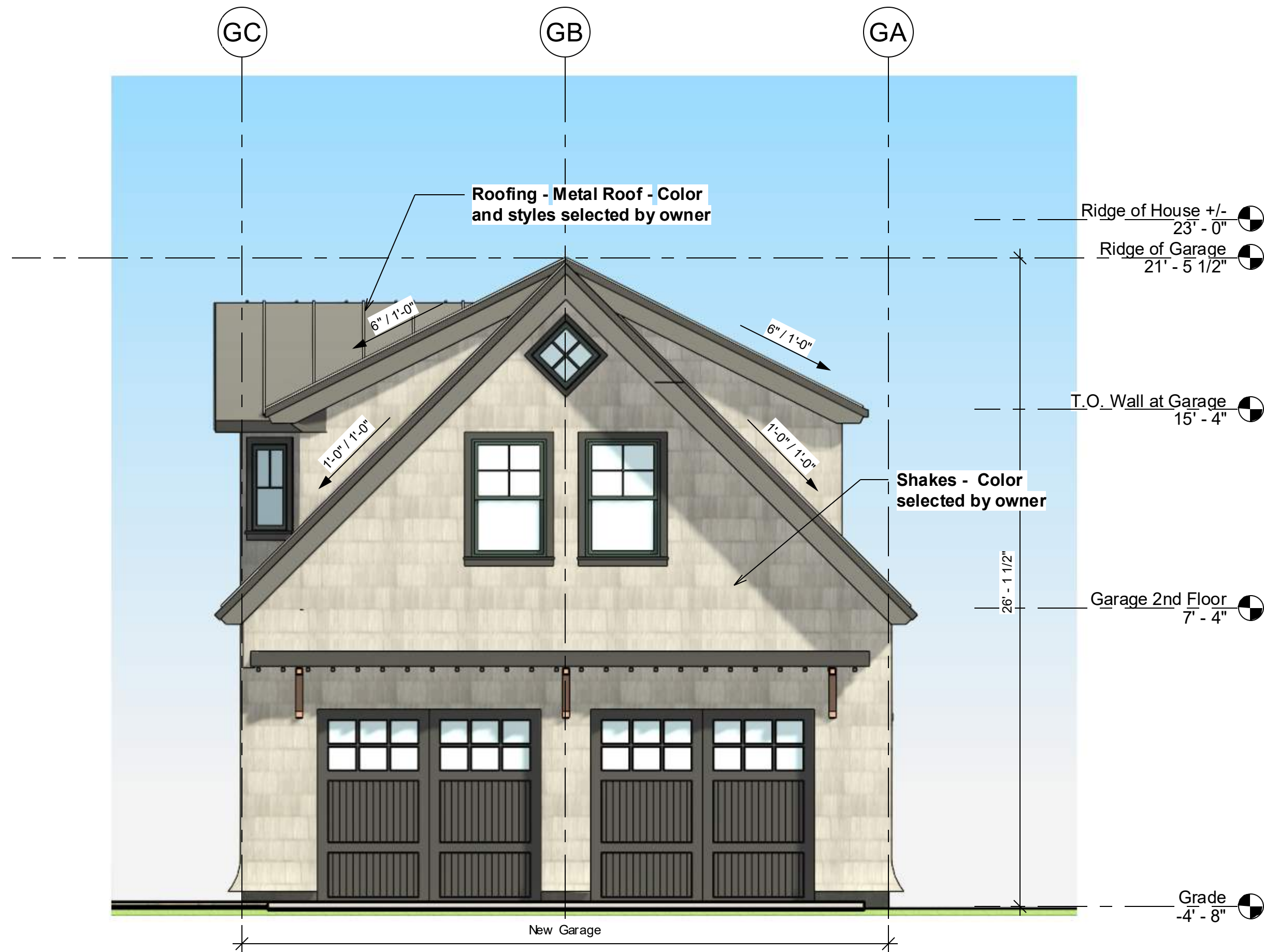
Planning Board Submittal



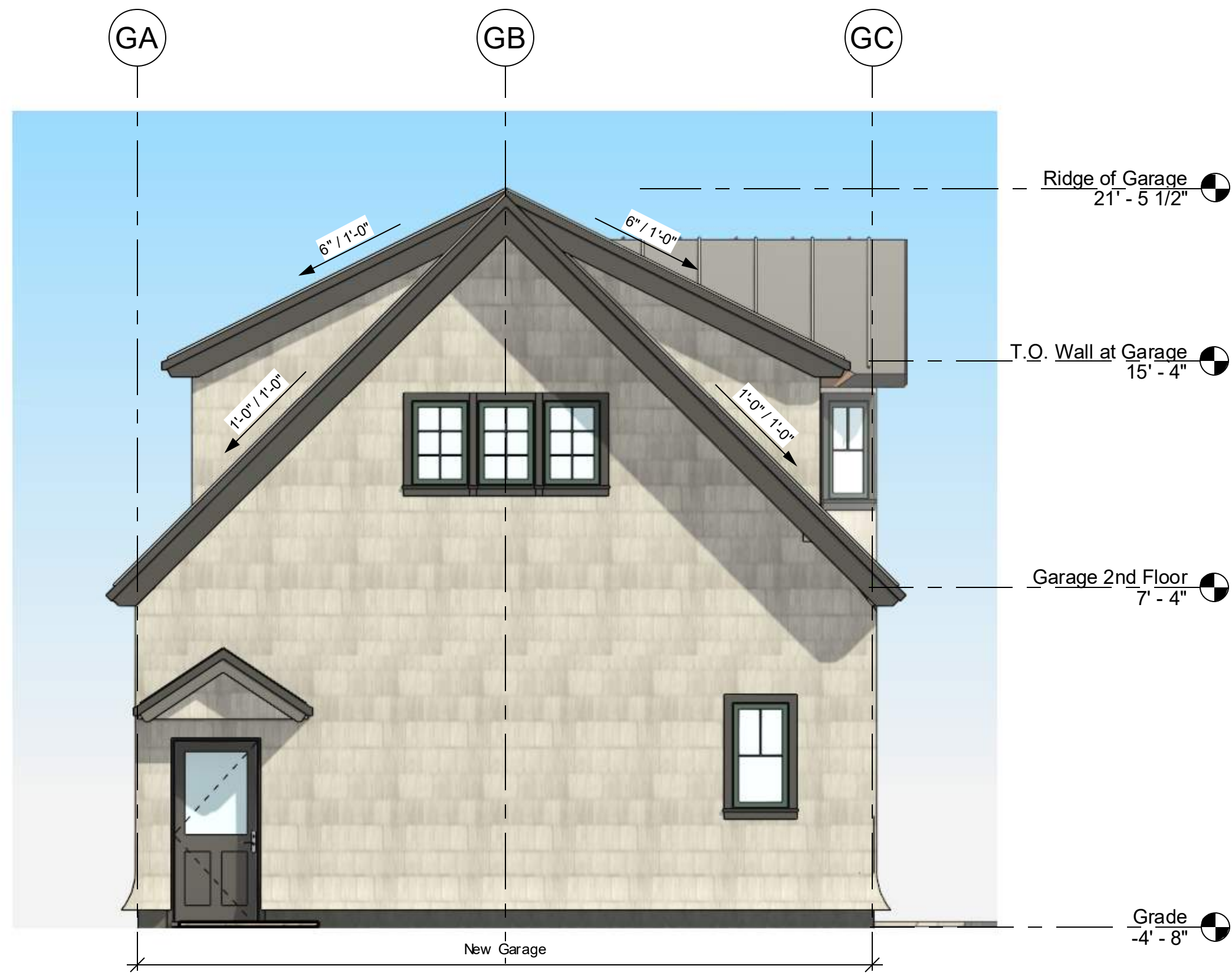
② Garage North Side Elevation
1/4" = 1'-0"



③ Garage South Side Elevation
1/4" = 1'-0"



① Garage Front Elevation
1/4" = 1'-0"



④ Garage Rear Elevation
1/4" = 1'-0"

KW Architects
Kristi Kenney, RA
PO Box 404
Wells, Maine 04090
(207) 332-9199



Perier Residence
438 Kings Highway
Kennebunkport, Maine

REVISIONS

#	Date	Description

Date:	03/18/24
Project #	230103
Drawn By:	AEP
Checked By:	KK
Drawing Scale	1/4" = 1'-0"

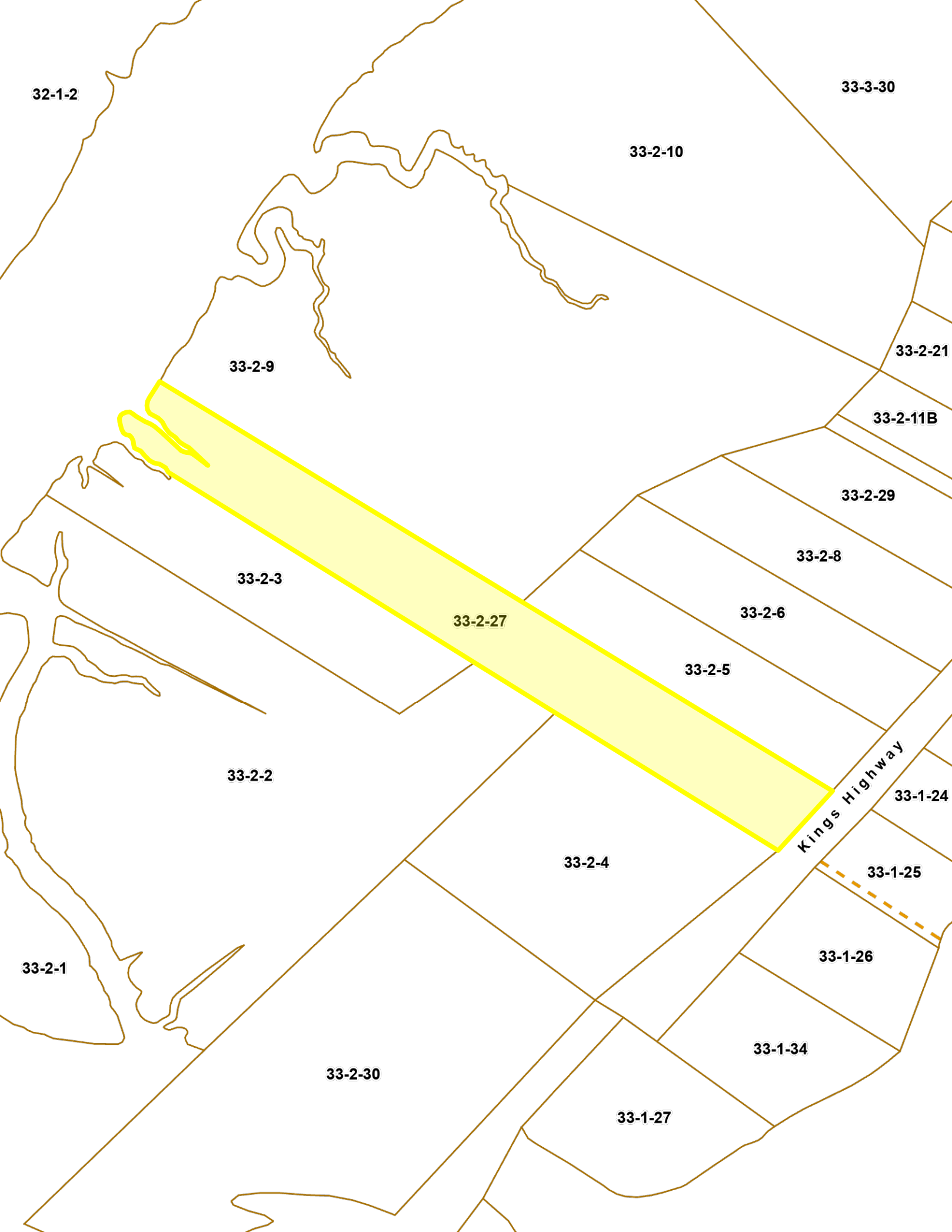
SHEET TITLE

Garage Elevations

G2

© COPYRIGHT 2024
Reproduction or reuse of this document without
written permission of KW Architects is prohibited.

Planning Board Submittal



32-1-2

33-3-30

33-2-10

33-2-9

33-2-21

33-2-11B

33-2-29

33-2-3

33-2-8

33-2-27

33-2-6

33-2-5

33-2-2

33-1-24

Kings Highway

33-1-25

33-1-26

33-2-1

33-2-4

33-2-30

33-1-27

33-1-34