



# **AMENDED SITE PLAN APPLICATION**

## **To**

**Town of Kennebunkport**

**For**

**Ocean Woods Resort**

**Prepared for**

**Ocean Woods Resort Owner, LLC  
2 Livewell Drive, Suite 203  
Kennebunk, ME 04043**

**April 2021**



April 15, 2021  
19452

Mr. Thomas Boak, Chair  
Kennebunkport Planning Board  
Town of Kennebunkport  
P. O. Box 566  
Kennebunkport, ME 04046

**Amended Site Plan Application**  
**Ocean Woods Resort, Ocean Woods Resort Owner, LLC**

Dear Tom:

On behalf of Ocean Woods Resort Owner, LLC, D.B.A. Kennebunkport Resort Collection (applicant), I am pleased to submit this cover letter, attached plans and supportive documents for an amendment to the Ocean Woods Resort located at 71 Dyke Road. The amendment consists of a complete reconstruction of this seasonal facility. Since their purchase of the resort in February 2020 the owners have been working with the Code Office to determine a means to renovate the existing building and site. After extensive design and pricing exercises it was determined that the cost to renovate the building and site was too costly and would not yield a project suitable for today's needs. After further discussions with the Town the owners have decided to demolish the existing building and in-turn do a complete reconstruction of the resort to meet today's market and conditions and in-turn upgrade all site utilities.

Since this is a complete redevelopment of the facility it will require an amendment to the approved site plan. This is a non-conforming use in the Goose Rocks Zone. Our understanding is that the new facility cannot exceed the existing square footage of all buildings, number of bedrooms, unit count and restaurant seats. The complex must also meet the performance standards of Article 7.7 Hotels, Motels, Bed & Breakfast and Inns. This new design is at or below these numbers and meets or exceeds the performance standards. This property is shown as Lot 2 on Tax Map 37, Block 5 and is located in the Goose Rocks Zone and Shoreland Zone.

The new plan consists of the following:

1. Construct a one story, 88-seat restaurant and pool on the site of the existing restaurant.
2. Construct 30 individual 1 and 2-bedroom cottages for a total of 48 bedrooms.
3. Reconfigure the existing parking lot to accommodate 68 vehicles. Guest parking will occur in the lot and golf carts will be provided for access to the cottages. This will limit extensive infrastructure and minimize impervious surfaces. Note: The existing and proposed parking is sited on the northwesterly boundary line. This property is benefitted by a 50 ft wide easement (deed attached). In addition to the easement being for a septic system (if needed), the easement is also for "open space for setbacks (if the same are necessary) for the proposed parking and other improvements on grantees' adjacent land." Discussions with the planning

office indicted that this easement area can be used for meeting the buffer requirements in Article 7.7.A.

4. Provide a new main entrance drive and convert the existing drive to a service and employee entrance.
5. Connect the facility to the seasonal public water main. The facility is currently on a well.
6. Upgrade the septic system and install a Fuji clean system to improve water quality to the area. There is no public sewer available in this area.
7. Provide for a stormwater management system that meets the criteria of the MDEP.
8. The site landscaping will utilize native dune plantings common in the Goose Rock Beach area.
9. The site will be fully accessible for fire and emergency apparatus.

For background information on this project the original resort was constructed as an addition to an existing building in 1986. There are 30 rooms to rent and two apartments in the building for a total of 49 bedrooms. The existing restaurant has a capacity of 108-110 seats. The building is two stories with a total square footage of 30,961 s.f. The site plan for the facility has 51 parking spaces on a gravel surface with an undesignated overflow parking on the chamber septic system.

From a regulatory review process this project will require several permits from the State of Maine. The first permit will be a Stormwater Law Permit from the Maine Department of Environmental Protection Agency. The overall site impervious surfaces are just over 1 acre in area so a permit is required from the MDEP. This permit Application is currently in process and will be filed and reviewed concurrent with the Town review process. Once filed this application takes around 90 days for review and approval.

The second permit will be with the Maine Department of Health and Human Services for an amendment to the engineered septic system. This permit Application is currently in process and will be filed and reviewed concurrent with the Town review process. Once filed this application takes around 45 days for review and approval.

Construction is anticipated to commence upon receipt of all approvals with a completion of the project in spring 2022.

### **Submission Items**

In accordance with Article 10.6.C Submission Requirements for Site Plan Review of the Land-Use Ordinance, we offer the following plans and supportive documents for your review and consideration of this application.

1. Application, Checklist and Agent Authorization Letter
2. Fee of \$250 plus \$100 publication and notification fee + \$89.64 (\$7.47 x 12 abutters). Total fee \$439.64
3. Copy of Deed.

4. Tax Map and Tax Cards and List of Abutters within 200 feet of the site.
5. Architectural floor plans and elevations
6. Cut sheets for site light fixtures. All fixtures are mounted on 6 ft high cedar post and are less than 100 watts.
7. Site Plan set showing the proposed project

I trust this packet provides you with sufficient information to review this project. We look forward to presenting this project to the Board at the next available Planning Board Agenda. In the interim, if you or Town staff require additional information, please contact me.

Sincerely,

SEBAGO TECHNICS, INC.



Stephen G. Doe, RLA, LEED-AP  
Landscape Architect

SGD: llg  
Enc.

cc: Justin Grimes, Kennebunkport Resort Collection  
Tim Harrington, Kennebunkport Resort Collection  
Ralph Austin, Woodman Edmands Danylik Austin Smith & Jacques, P.A.  
Werner Gilliam, Town of Kennebunkport  
Planning Board Members



# **Amended Site Plan Application**

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## **1. Application Forms**

- Site Plan Application
  - Site Plan Checklist
- Agent Authorization Letter

**APPLICATION FOR SITE PLAN REVIEW  
KENNEBUNKPORT PLANNING BOARD**

1. Applicant:

Name: Ocean Woods Resort Owner, LLC

Address: 2 Livewell Drive, Suite 203  
(street)

Kennebunk ME 04043  
(city) (state) (zip)

Phone: (800) 573-7186

2. Owner of Record:

Name: Same

Address: \_\_\_\_\_  
(street)

\_\_\_\_\_  
(city) (state) (zip)

Phone: \_\_\_\_\_

3. Subject Property Address: 71 Dyke Road

Zone: GR Tax Assessor's Map 37 Block 5 Lot 2

Shoreland X Resource Protection X

Project Location 71 Dyke Road

Lot Width 345 ft Depth 1,235 ft Area 10.4 acres

4. Existing use of Property: Hotel/Rest - 30 units+2 Apts (Total Bedrooms+49)+108-110 seat Restaurant

5. Proposed Use of Property: Hotel/Rest - 30 units (48 Bedrooms) + 88 Seat Restaurant

6. Type of Sewage Disposal:

Existing Septic Proposed Redesigned

7. Water Supplied by: Private well (Existing) Proposed new connection to Seasonal Public Water Main

8. Percentage of Lot Occupied by Structures: **\* INCLUDES ALL IMPERVIOUS SURFACES**

Existing 9.3% Proposed 19.4%

9. Interior Square Footage:

Existing 30,961 s.f. Proposed 30,961 s.f.

10. If Upward Expansion, Interior Volume:

Existing N/A Proposed N/A

11. Exterior dimensions of existing and proposed structure:

Existing See Site Plan Proposed See Site Plan and Arch Plans

12. Commercial Floor Space (square feet):

Existing 30,961 s.f. Proposed 30,961 s.f.

13. Details on easements or other restrictions on the property. Attach deeds and/ or agreements.

See attached Deeds, Plans and  
Easement

14. Describe new structures, additions to existing structures and alterations proposed:

Project consist of Demolition of existing restaurant and hotel and reconstruction of new restaurant and 30 cottages. Other site improvements include updated utilities and infrastructure, parking and landscaping

15. Attachments:

1. List full names and current mailing addresses of owners of properties within 200 feet of the subject property. *(List on a separate sheet).*
2. A site plan containing all the data required under Article 10 of the Kennebunkport Land Use Ordinance.
3. Attach a copy of official decisions (or note pending applications) of other Federal, State or local agencies regarding the use of this property (Army Corps., D.E.P., etc.).
4. On a separate sheet, attach any supplemental information, or explain any points you feel need clarification.
5. Please attach 8.5" x 11" or 11" x 17" copies of plans to this form if submitting blueprint sized plans.

**Note:** All applications must conform to the Kennebunkport Land Use Ordinance and all applicable local, State and Federal ordinances. Planning Board approval is required before any building permit is issued.

**All fees must accompany this application**

To the best of my knowledge, all information submitted on this application is true and correct. All proposed uses will be in conformance with the application and the Kennebunkport Land Use Ordinance.

Signature

Stephen G. Doe Agent

Date

4/15/21

**For Office Use Only**

Date Received \_\_\_\_\_ Application Fee Paid \_\_\_\_\_ Postage Fee Paid \_\_\_\_\_

Legal Notice Fee Paid \_\_\_\_\_

## CHECK LIST

### INFORMATION THAT MUST BE SUBMITTED WITH YOUR APPLICATION PACKAGE TO THE PLANNING BOARD BEFORE A HEARING IS SCHEDULED

**WARNING: FAILURE TO SUBMIT ALL OF THE REQUIRED INFORMATION MAY RESULT IN THE POSTPONEMENT OF YOUR INITIAL REVIEW AND/ OR PUBLIC HEARING. APPLICATIONS MUST BE FILED IN THE TOWN OFFICE A MINIMUM OF FOURTEEN (14) BUSINESS DAYS BEFORE THE NEXT REGULARLY SCHEDULED MEETING. THE PLANNING BOARD MEETS ON THE FIRST & THIRD WEDNESDAYS OF EACH MONTH.**

#### A. Show right, title or interest in the property by submitting the following:

1. ☒ A photo copy of the **deed** that is registered at the York County Registry of Deeds.
2. ☒ A photo copy of the **Assessor's tax card** on the property (available at the Town Office), along with a copy of the **tax map** with the **property** in question **highlighted**.

#### B. Plans of the property showing the following:

1. ☒ Dimensions and shape of the lot.
2. ☒ The size, location and dimensions of existing building with all dimensions from building(s) to lot line shown.
3. ☒ The location(s) and dimensions of proposed buildings or alterations.
4. ☒ Any natural or topographic peculiarities of the lot in question.
5. ☒ Any surveyors markers.
6. ☒ Drawings showing the four elevations of the proposed completed structure with height indicated.

#### C. Additional information required:

1. ☒ If an owner is not representing him/ herself before the Board, a signed and dated letter of authorization indicating who will be the owner's representative must be included.
2. ☒ The application form will include the names and current mailing addresses of all property owners within two hundred (200) feet of the property in question (Planning Board Secretary will send notices). **\*Please be sure to include Map, Block & Lot numbers for each Abutter.**
3. ☒ At the time of filing the application, **two separate checks (payable to the Town of Kennebunkport) are required. One is for the filing fee (variable). The other is for postage (variable, depending upon number of Abutters) and Legal Notice and Disclaimer newspaper posting costs (currently \$58.35)** Postage is figured at \$5.03 per abutter (\$0.39 for initial notice and \$4.64 for certified mail notice of Public Hearing).
4. ☒ It is the responsibility of the applicant to mail a copy of the completed application and all items listed above to each Planning Board member a minimum of 14 days before the next regularly scheduled meeting. Failure to submit any item will result in the Board deeming your application incomplete and will delay your public hearing.



April 12, 2021

Mr. Stephen G. Doe, RLA  
Sebago Technics, Inc.  
75 John Roberts Road, Suite 4A  
South Portland, Maine 04106-6963

**Agent Authorization for Local, State and Federal Permitting**  
**Ocean Woods Resort, Kennebunkport, Maine**

Dear Steve:

On behalf of Ocean Woods Resort Owner, LLC, I hereby authorize Sebago Technics, Inc. to act in my behalf as our agent in the processing of any required local, State or Federal permit applications and to furnish, upon request, supplemental information in support of these applications.

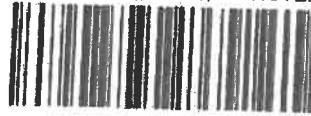
Sincerely,

A handwritten signature in cursive script that reads "Justin Grimes".

Justin Grimes  
Managing Director  
Ocean Woods Resort Owner, LLC

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## **2. Right, Title and Interest (Deed) & Certificate of Formation**



### QUITCLAIM DEED WITH COVENANT

OWR, LLC, a Maine limited liability company with its principal place of business in Kennebunkport, Maine ("Grantor"), grants to **OCEAN WOODS RESORT OWNER LLC**, a Delaware limited liability company with a mailing address of c/o Tyler Renolds and Tom Burns, 65 East 55<sup>th</sup> Street, Floor 3, New York, NY 10022, with *Quitclaim Covenant*, the premises, together with any buildings thereon, situated in Town of Kennebunkport, County of York, and State of Maine, as more fully described in Exhibit "A" attached hereto and made a part hereof.


Meaning and intending to convey and hereby conveying the premises conveyed to the Grantor by deed of J.G.N.S., Inc. dated March 9, 2007 and recorded in the York County Registry of Deeds in Book 15103, Page 452.

The Grantor also hereby releases, without covenant, the premises described in Exhibit "B" attached hereto and incorporated herein.




IN WITNESS WHEREOF, the undersigned has hereunto set its hand effective this 26  
day of February, 2020.

Witness:

  
\_\_\_\_\_

OWR, LLC

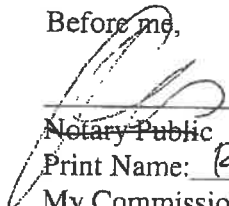
By:   
Kathleen M. Spang, Its Manager

STATE OF MAINE  
CUMBERLAND, SS.

February 26, 2020

Then personally appeared the above-named Kathleen M. Spang, in her capacity as Manager of OWR, LLC, and acknowledged the foregoing instrument to be her free act and deed and the free act and deed of said entity.

Before me,

  
~~Notary Public~~ Attorney at Law  
Print Name: Rid Hayton-Hull  
My Commission Expires: \_\_\_\_\_

## EXHIBIT A

Unit Number 1 through 35 inclusively of the Inn at Goose Rock Condominium situated in the Town of Kennebunkport, County of York and State of Maine, as more particularly described in the Declaration of the Inn at Goose Rocks Condominium, dated as of March 5, 1987 recorded in the York County Registry of Deeds in Book 4206, Page 202, as amended by the Amendment to Declaration of Condominium The Inn at Goose Rocks executed July 29, 1987, recorded in Book 4401, Page 237 (as amended, "Declaration") And in the Plats and Plans incorporated in to the Declaration and recorded in the York County Registry of Deeds in Condominium File No, 261, Sheets 1 through 10.

The above-described premises are conveyed together with and subject to the following:

1. Conditions as set forth in the Affidavit of Mary Huff, Chairperson of the Kennebunkport Board of Appeals regarding "wet bar units" dated January 10, 1989 recorded in the York County Registry of Deeds in Book 4960, Page 224.
2. Rights and easements granted by Edmund Wakelin et al. to New England Telephone and Telegraph Company and Central Maine Power Company by deed dated December 30, 1980 recorded in the York County Registry of Deeds in Book 2739, Page 344.
3. Right of way and easement granted by Edmund Wakelin et al. to John Cotsifas et al. by deed dated November 26, 1984 recorded in the York County Registry of Deeds in Book 3422, Page 31.
4. Covenants, conditions, restrictions, reservations, easements, liens for assessments, options, powers of attorney, and limitations on title, created by The Maine Condominium Act, Chapter 31 of Title 33 of the Maine Revised Statutes of 1964, as amended, or set forth in the Declaration of The Inn at Goose Rocks Condominium dated March 5, 1987 recorded in the said Registry of Deeds in Book 4206, Page 202; as amended by Amendment dated July 29, 1987 recorded in said Registry in Book 4401, Page 237, as further amended; and in the Plats and Plans recorded in the said Registry in Condominium File No. 261, Sheets 1 through 10, in the related By-Laws; in any instrument creating the estate or interest by this Policy; and in any other allied instrument referred to in any of the instruments aforesaid.
5. Rights of others in and to the use of appurtenant easements insured herein and terms and conditions relative to the use thereof.
6. Restrictions, covenants and conditions on appurtenant easement set forth in deed of John C. Cotsifas dated November 26, 1984 recorded in the said Registry of Deeds in Book 3422, Page 29.
7. Such state of facts as is shown on the plan entitled "Site, Building & Unit Location Plan – The

Inn at Goose Rocks Condominium" dated December 22, 1986; prepared by Dow and Coulombe Inc. recorded in the said Registry of Deeds in File #261, Pages 1 through 10.

**EXHIBIT B**

A CERTAIN LOT OR PARCEL OF LAND SITUATED ON THE NORTHEAST SIDE OF DYKE ROAD IN THE TOWN OF KENNEBUNKPORT, COUNTY OF YORK, AND STATE OF MAINE SHOWN ON ALTA/NSPS LAND TITLE SURVEY OF OCEAN WOODS PARCEL BY SEBAGO TECHNICS, INC. (PROJECT NUMBER 19452-01) LAST DATED JANUARY 28, 2020 AND BEING MORE PARTICULARLY BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT A 5/8" IRON ROD AT THE CORNER OF LAND NOW OR FORMERLY OF GEORGE H. AND MARY L. EMMONS AS DESCRIBED IN DEED BOOK 11465, PAGE 261 AND THE CORNER OF LAND NOW OR FORMERLY OF EMMONS CLOCKS FARM TRUST AS DESCRIBED IN DEED BOOK 15514, PAGE 261 BEING N 47°-51'-53" E, A DISTANCE OF 57.95 FEET FROM A REBAR TO BE SET ON THE NORTHEASTERLY SIDELINE OF DYKE ROAD;

THENCE N71°51'53"E ALONG THE SOUTHERLY SIDELINE OF SAID EMMONS CLOCK FARM TRUST AND THE SOUTHERLY SIDELINE OF LAND NOW OR FORMERLY OF JOHN C. AND ANGELICA C. ELY AS DESCRIBED IN DEED BOOK 1784, PAGE 38 AND THE SOUTHERLY SIDELINE OF LAND NOW OR FORMERLY OF ROBERT A. AND TRIPLETT MCLAUGHLIN AS DESCRIBED IN DEED BOOK 16702, PAGE 687, A TOTAL DISTANCE OF 1,177.94 FEET TO A 5/8" REBAR WITH CAP INSCRIBED "DOW & COULOMB PLS 1203" ON THE WESTERLY SIDELINE OF LAND NOW OR FORMERLY OF KAREN LOBELLO TRUST AS DESCRIBED IN DEED BOOK 16825, PAGE 538;

THENCE S23°15'37"E ALONG THE SIDELINE OF SAID KAREN LOBELLO TRUST, A DISTANCE OF 296.42 FEET TO A 5/8" REBAR WITH 4" DIAMETER CAP INSCRIBED "US WILDLIFE" AT THE WESTERLY CORNER OF LAND NOW OR FORMERLY OF THE UNITED STATES GOVERNMENT, RACHEL CARSON NATIONAL WILDLIFE;

THENCE S23°12'07"E ALONG THE WESTERLY SIDELINE OF SAID UNITED STATES GOVERNMENT, A DISTANCE OF 254.60 FEET TO A POINT NEAR A 4" X 3" GRANITE MONUMENT FOUND 18" HIGH, LEANING AND LOOSE, AT THE NORTHERLY CORNER OF LAND NOW OR FORMERLY OF WESLEY H. AND ELIZABETH A. PHILLIPS AS DESCRIBED IN DEED BOOK 6355, PAGE 346;

THENCE S71°17'23"W ALONG SAID PHILLIPS, A DISTANCE OF 122.68 FEET TO A 5/8" REBAR WITH 4" DIAMETER CAP INSCRIBED "US WILDLIFE";

THENCE S71°23'58"W CONTINUING ALONG SAID PHILLIPS, A DISTANCE OF 145.19 FEET TO A 1" IRON PIPE AT THE EASTERLY CORNER OF LAND NOW OR FORMERLY OF CORNELIUS C. LAMEY AS DESCRIBED IN DEED BOOK 17433, PAGE 610;

THENCE N18°42'32"W ALONG SAID LAMEY, A DISTANCE OF 219.97 FEET TO A 1"

IRON PIPE;

THENCE S71°17'35"W ALONG SAID LAMEY AND LAND NOW OR FORMERLY OF CORNELIUS C. LAMEY AS DESCRIBED IN DEED BOOK 17691, PAGE 160; A DISTANCE OF 872.28 FEET TO THE APPARENT NORTHEASTERLY SIDELINE OF SAID DYKE ROAD;

THENCE ALONG A NON-TANGENTIAL CURVE CONCAVE TO THE NORTHEAST HAVING A RADIUS OF 1,604.01 FEET, AN ARC LENGTH OF 218.93 FEET, AND A CHORD THAT BEARS N43°03'44"W 218.76 FEET TO A POINT OF TANGENCY;

THENCE N39°09'07"W CONTINUING ALONG THE DYKE ROAD, A DISTANCE OF 126.46 FEET TO A REBAR TO BE SET AT LAND OF SAID GEORGE H. AND MARY L. EMMONS;

THENCE N47°51'53"E ALONG SAID GEORGE H. AND MARY L. EMMONS, A DISTANCE OF 57.95 FEET TO THE POINT OF BEGINNING.

THE TOTAL AREA OF THE ABOVE-DESCRIBED PARCEL IS APPROXIMATELY 10.41 ACRES.

TOGETHER WITH A UTILITY EASEMENT AS RECORDED IN DEED BOOK 3422, PAGE 29.

SUBJECT TO A VEHICULAR AND PEDESTRIAN RIGHT-OF-WAY EASEMENT AS DESCRIBED IN DEED BOOK 3422, PAGE 31.

TOGETHER WITH ANY RIGHTS THAT MAY EXIST BETWEEN THE MDOT DYKE ROAD RIGHT OF WAY LINE DESCRIBED HEREON AND THE ACTUAL DYKE ROAD RIGHT OF WAY.

MEANING AND INTENDING TO DESCRIBE A PARCEL OF LAND DESCRIBED IN A DEED TO OWR, LLC RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN BOOK 15103, PAGE 452.

BEARINGS HEREIN ARE BASED ON A GRID NORTH.

WOODMAN EDMANDS DANYLIK AUSTIN  
SMITH & JACQUES, P.A.  
P.O. BOX 468  
BIDDEFORD, ME 04005-0468  
(207) 284-4581

6p5p

RWA

36685  
QUITCLAIM DEED  
With Covenant

**Know all Men by these Presents,**

**That** John C. Cotsifas and Martha L. Cotsifas, both of Waterboro,  
in the County of York and State of Maine -----

in consideration of One dollar and other valuable considerations

paid by Edmund Wakelin Sr. of Biddeford, in the County of York  
and State of Maine, and Edmund Wakelin Jr. of Kennebunkport, in  
the County of York and State of Maine -----

whose mailing address is

the receipt whereof WE do hereby acknowledge, do hereby remise, release, bargain,  
sell and convey, and forever quitclaim unto the said Edmund Wakelin Sr. and  
Edmund Wakelin Jr.

their heirs and assigns forever,

A permanent easement over and in a strip of land situated in  
Kennebunkport, in the County of York and State of Maine, said  
strip lying easterly of but not adjacent to the Dyke Road, and  
being more particularly bounded and described as follows:

Said strip shall be 50 feet in width throughout and shall be  
adjacent to and northerly of the entire common boundary of lands  
of grantors and grantees.

This easement shall be used (1) as an appurtenance to  
grantees' proposed sewage disposal system on their adjacent  
property, including the use of land within said easement for  
grading and banking for said system, installation and use, repair  
and replacement (if necessary) for the end portion of said  
system, and land for setbacks for said system, and (2) as open  
space for setbacks (if the same are necessary) for the proposed  
parking and other improvements on grantees' adjacent land.

No above ground structures shall ever be erected within said  
strip of land by grantees or their successors in title; grantees  
shall restore any portions within the easement area which are  
graded or otherwise physically disturbed by installation or work  
on said sewage disposal system, shall not cut any trees within  
the easement except as absolutely necessary for the sewage  
disposal system, shall landscape any such disturbed area, and  
shall not interfere with the natural growth on said strip except  
with the express consent of the then owners of said Cotsifas  
property.

For grantors' title to the real estate made subject to this  
easement, see -

MAINE REAL ESTATE TRANSFER TAX PAID

To have and to hold the same, together with all the privileges and appurtenances thereunto belonging, to the said Edmund Wakelin Sr and Edmund Wakelin Jr

their heirs and assigns forever.

And we do covenant with the said Grantee s, their heirs and assigns, that we shall and will warrant and defend the premises to the said Grantee s, their heirs and assigns forever, against the lawful claims and demands of all persons claiming by, through, or under us.

In Witness Whereof, We the said John C. Cotsifas and Martha L. Cotsifas, being husband and wife and each with the other

WITNESSES

~~husband and wife of the said~~

joining in this deed as Grantor s, and relinquishing and conveying all rights by descent and all other rights in the above described premises, have herunto set our hand and seal this 26th day of the month of November, A.D. 1984.

Signed, Sealed and Delivered in presence of

Diana E. Lambert

JOHN C. COTSIFAS  
MARTHA L. COTSIFAS

State of New York, County of York ss. Nov 26 1984.  
Then personally appeared the above named John C. Cotsifas

and acknowledged the foregoing instrument to be his free act and deed.

Before me,

Diana E. Lambert  
DIANA E. LAMBERT  
Notary Public for the State of New York

Print Name:

RECEIVED YORK, SS.

1984 NOV 28 PM 2:45

RECORDED REGISTRY OF DEEDS



# MAINE

## Department of the Secretary of State

### Bureau of Corporations, Elections and Commissions

[Corporate Name Search](#)

## Information Summary

[Subscriber activity report](#)

**This record contains information from the CEC database and is accurate as of: Mon Apr 12 2021 16:38:24. Please print or save for your records.**

Legal Name	Charter Number	Filing Type	Status
OCEAN WOODS RESORT OWNER LLC	20200877FC	LIMITED LIABILITY COMPANY (FOREIGN)	GOOD STANDING

Filing Date	Expiration Date	Jurisdiction
02/25/2020	N/A	DELAWARE

**Other Names** (A=Assumed ; F=Former)

OCEAN WOODS RESORT	A
PJ'S	A

### Clerk/Registered Agent

CORPORATION SERVICE COMPANY  
45 MEMORIAL CIRCLE  
AUGUSTA, ME 04330

[Back to previous screen](#)
[New Search](#)

**Click on a link to obtain additional information.**

[List of Filings](#)
[View list of filings](#)

### Obtain additional information:

[Certificate of Existence \(more info\)](#)
[Short Form without amendments  
\(\\$30.00\)](#)

You will need Adobe Acrobat version 3.0 or higher in order to view PDF files.  
If you encounter problems, visit the [troubleshooting page](#).



If you encounter technical difficulties while using these services, please contact the [Webmaster](#). If you are unable to find the information you need through the resources provided on this web site,



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### **3. Location Map**



# Location Map

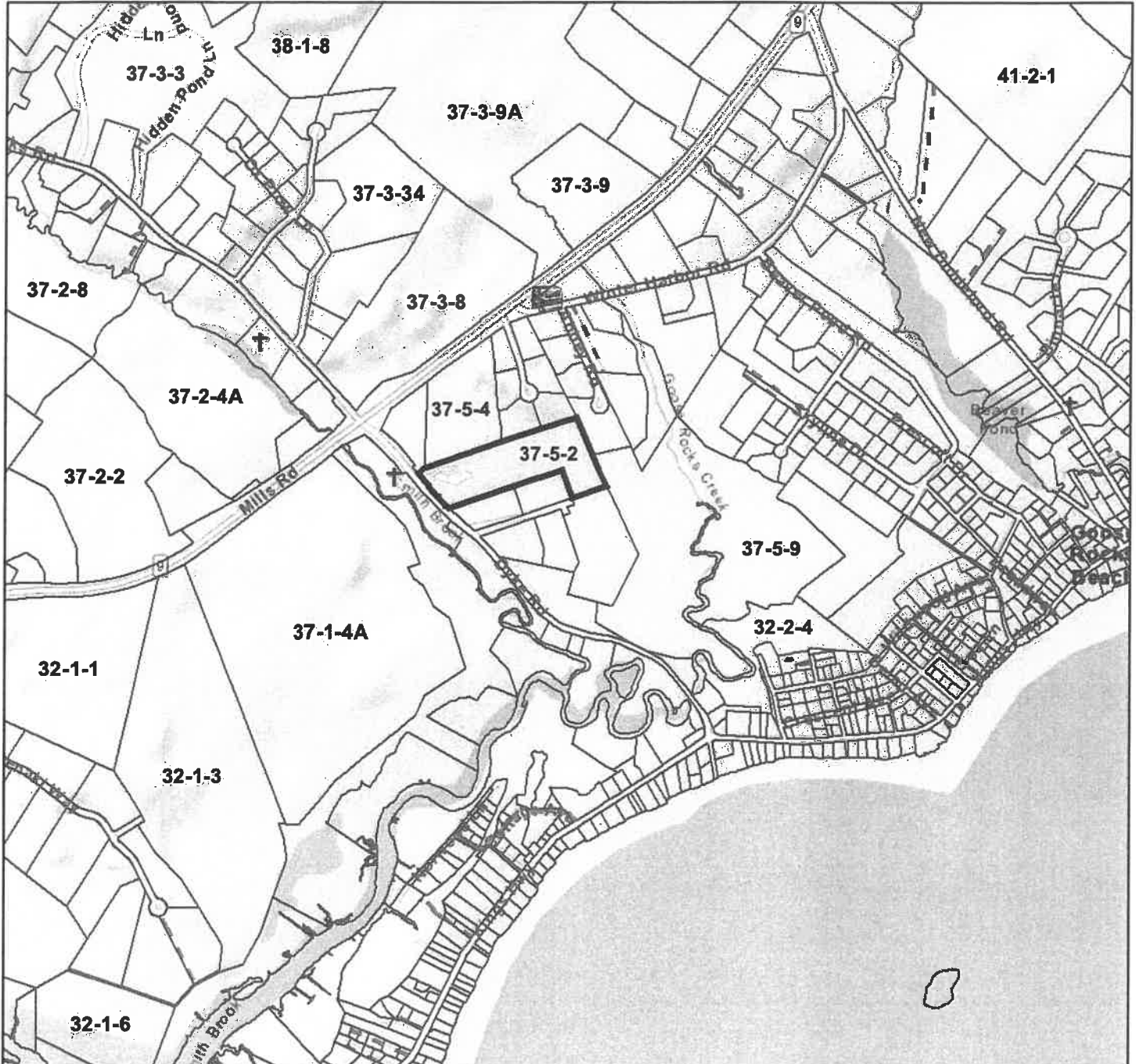
Kennebunkport, ME



1 inch = 1094 Feet



April 12, 2021



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

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#### **4. Copy of Tax Map, Tax Card & List of Abutters within 200 feet**



# 200 ft Abutters Map

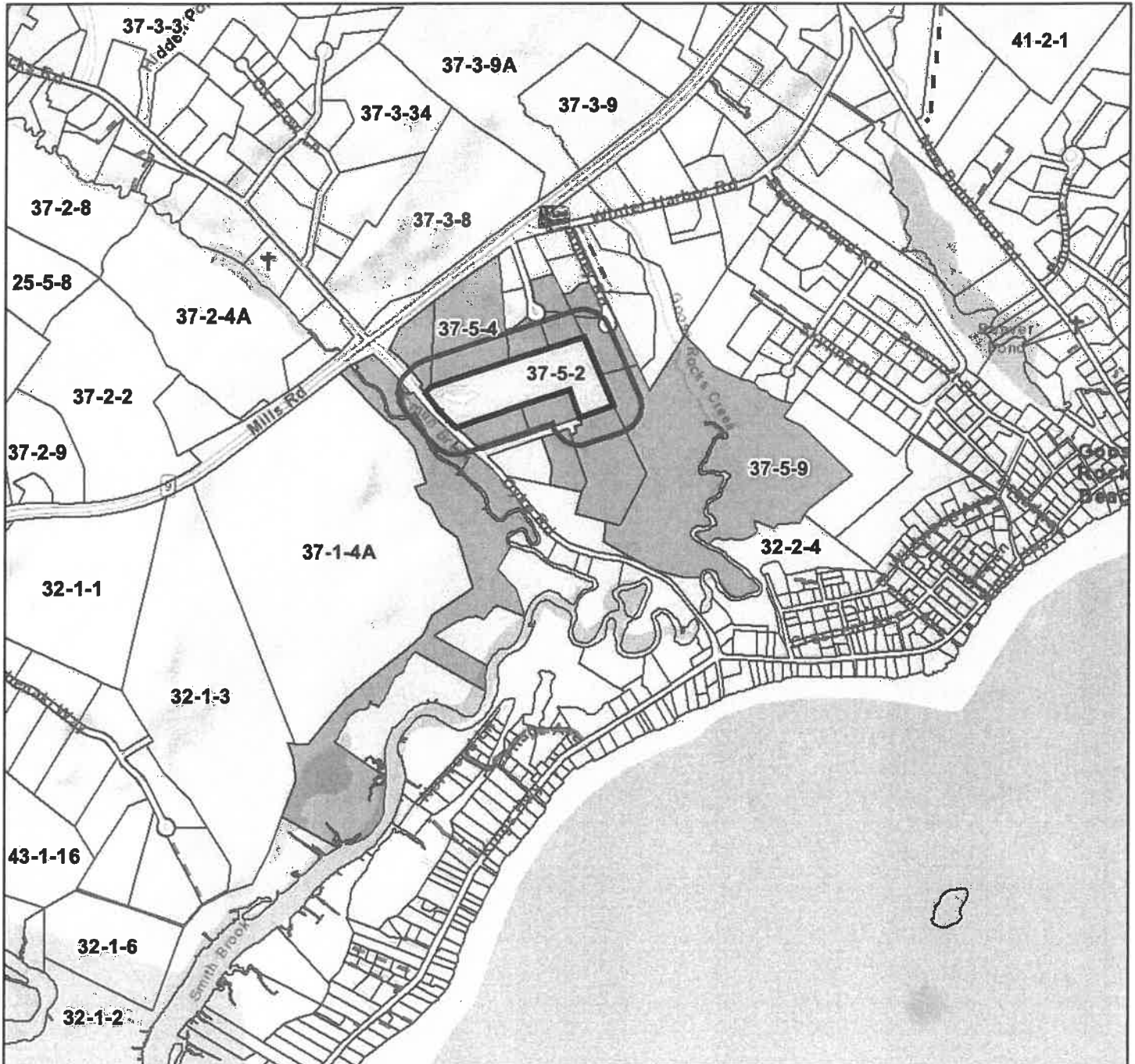
Kennebunkport, ME



1 inch = 1094 Feet



April 12, 2021



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.

CURRENT OWNER		TOPO	SEWER/WATER	STRT/ROAD	ZONE(S)		CURRENT ASSESSMENT				4512				
OCEAN WOODS RESORT OWNER, LLC  66 EAST 55TH ST., FL 33  NEW YORK NY 10022		1 Level	2 Septic/Private	1 Paved	GR	Goose Rocks	Description	Code	Appraised	Assessed	KENNEBUNKPORT, ME				
		4 Rolling					312 Hotel/Motel	3000	1,344,300	1,344,300					
		SUPPLEMENTAL DATA		COMMERC.		3000		406,900		406,900					
		Trio Acct 3074		House Cal						VISION - 2020					
		CURRNT 1ST YEA FMP EX			Assoc Pid#										
		GIS ID	105742												
RECORD OF OWNERSHIP		BOOK/PAGE	SALE DATE	Q/U	V/I	SALE PRICE	VC	PREVIOUS ASSESSMENTS (HISTORY)							
OCEAN WOODS RESORT OWNER, LLC OWR, LLC J.G.N.S. INC BRISEBOIS INVESTMENT COMPANY/INC		18182	165	02-27-2020	Q	I	2,512,500	00	Assessed	Year	Code	Assessed V	Year	Code	Assessed
		15103	0452	03-12-2007	U	I	1,380,000	1	1,344,300	2020	3000	1,322,600	2019	3000	1,322,600
		00997	0021	04-11-2000	U	V	856,912	1B	406,900		3000	406,900		3000	406,900
		07393	0196	04-24-1995	U	U	0				3000	21,700		3000	21,700
EXEMPTIONS		Amount	Code	Description	Number	Amount	OTHER ASSESSMENTS		This signature acknowledges a visit by a Data Collector or Assessor						
Year	Code						Total	1751200	Total	1751200	Total				1751200
ASSESSING NEIGHBORHOOD		Total		0.00		(Updated) PARCEL ADDRESS		APPRAISED VALUE SUMMARY							
Nbhd								Appraised Bldg. Value (Card)							
0001								Appraised Xf (B) Value (Bldg)							
								Appraised Ob (B) Value (Bldg)							
								Total Appraised Improvements							
								Appraised Land Value (Bldg)							
								Special Land Value							
								Total Appraised Parcel Value							
								Exemption							
								Valuation Method							
								NET PARCEL VALUE							
								1,315,900							
								6,700							
								21,700							
								1,344,300							
								406,900							
								0							
								1,751,200							
								0.00							
								C							
								1,751,200							

INN AT GOOSE ROCKS IA		ONE IS 3BD 1.5BTH MANAGER	
COMP 07 EST BP		2 OTHER HOTEL ROOMS ARE	
30 RMS TO RENT 18 ARE 1BD-12 = 2BD INCL		CONDOS 1BD 1BTH ONLY RM	
NO ANSER AT ANY DOOR(OFFICE,REST, W ENT)		108+110 RESTAURANT CAPAC	
ECO=MKT 99 DECK 01-FOP DK		IS 58 APPRX SQ FT 1250 01	
2 APTS 1 IS 2BD 1.5BTH			

BUILDING PERMIT RECORD											VISIT / CHANGE HISTORY					
Permit Id	Issue Date	Type	Description	Project Cost	Insp Date	% Comp	Date Comp	Comments	Date	Id	Permit #	Purpose/Result				
PP#4937	04-10-2018	PLI	Plumbing Int	19,000		0		INTERNAL PLUMBING FOR BAR AREA	11-24-2008	PH		Measur+Listed				
18-79	04-02-2018	CRE	Commercial Re			0		RENOVATION TO ENTRY TO CREATE BAR A	05-24-2007	LB		Measur+Listed				
17-198	07-20-2017	TT	Tent			0		TENT PERMIT 08/25-27	05-23-2001	DH		Measur+Listed				
17-197	07-20-2017	TT	Tent			0		TENT PERMIT 7/26-28	05-03-1999	MA		Building Permit M+L				
16-184	06-06-2016	TT	Tent			0		TENT PERMIT 3 DAYS	02-20-1997	BD		Measur+Listed				
16-183	06-06-2016	TT	Tent			0		TENT PERMIT 3 DAYS								
16-182	06-06-2016	TT	Tent			0		TENT PERMIT 3 DAYS								
LAND LINE VALUE DIFFERENCE 3 DAYS																
B	Use Code	Description	Zone	Land Type	Land Units	Unit Price	Size Adj	Site Index	Cond.	Nbhd.	Nbhd. Adj	Notes	Location Adjustment	Adj Unit P	Land Value	
1	3000	HOTELS MDL-9	GR		40,000 SF	2.5	1.15000	5	1.00	30	2,000	LOC 1.50X.952	1.0000	5.75	230,000	
1	3000	HOTELS MDL-9	GR		8,080 AC	5,000	1.15000	5	1.00	30	2,000	AD	1.0000	11,500	92,900	
1	3000	HOTELS MDL-9	GR		1,000 AC	36,500	1.15000	5	1.00	30	2,000		1.0000	83,950	84,000	
Parcel Total Land Area 9.9983 AC															Total Land Value	406,900

CONSTRUCTION DETAIL			CONSTRUCTION DETAIL (CONTINUED)					
Element	Cd	Description	Element	Cd	Description			
Style: 66		Hotel/Inn						
Model 94		Commercial						
Grade 04		Average +10						
Stories: 2								
Occupancy 1.00								
Exterior Wall 1 11		Clapboard						
Exterior Wall 2								
Roof Structure 03		Gable/Hip						
Roof Cover 03		Asph/F Gls/Cmp						
Interior Wall 1 03		Plastered						
Interior Wall 2								
Interior Floor 1 14		Carpet						
Interior Floor 2								
Heating Fuel 04		Electric						
Heating Type 07		Electr Basebrd						
AC Type 01		None						
Bldg Use 3000		HOTELS MDL-94						
Total Rooms 00								
Total Bedrms 0								
Total Baths 00								
Heat/AC 02		NONE						
Frame Type 02		WOOD FRAME						
Baths/Plumbin 02		AVERAGE						
Ceiling/Wall 06		CEIL & WALLS						
Rooms/Prtns 03		ABOVE AVERAGE						
Wall Height 8.00								
% Conn Wall 0.00								
1st Floor Use: 3000								
Solar Panels								
OB - OUTBUILDING & YARD ITEMS(L) / XF - BUILDING EXTRA FEATURES(B)								
Code	Description	COMMENT	L/B	Units	Unit Price	Yr Blt	% Gd	Appr. Value
FPL3	2 STORY CHIM		B	3	3380.98	1992	66	6,700
SPR1	SPRINKLERS-WET		B	1	0.80	1992	66	0
SPL2	VINYL/PLASTIC		L	800	26.47	1997	50	10,600
BTH2	W/PLUMBING		L	240	29.53	1997	75	5,300
LT1	LIGHTS-IN W/PL		L	6	1940.16	1997	50	5,800
MISC IMP OVR COMMENT								
MISC IMP OVR COMMENT								
COST TO CURE OVR								
COST TO CURE OVR COMMENT								
1,964,063								
Building Value New								
Year Built 1985								
Effective Year Built 1995								
Depreciation Code A								
Remodel Rating 28								
Year Remodeled 0								
Depreciation % 5								
Functional Obsol 1								
External Obsol 67								
Trend Factor 1,315,900								
Condition %								
Condition %								
Percent Good								
Cns Sect Rcnld								
Dep % Ovr								
Dep Ovr Comment								
Misc Imp Ovr								
Misc Imp Ovr Comment								
Cost to Cure Ovr								
Cost to Cure Ovr Comment								
1,964,064								
BUILDING SUB-AREA SUMMARY SECTION								
Code	Description	Living Area	Floor Area	Eff Area	Unit Cost	Unit Cost	Undeprec Value	
FAS	First Floor	11,937	11,937	11,937	89.72	89.72	1,070,940	
GR	Garage	0	576	230	35.82	35.82	20,635	
HS	Half Story, Finished	666	888	666	67.29	67.29	59,751	
SP	Porch, Screen, Finished	0	240	60	22.43	22.43	5,383	
US	Upper Story, Finished	8,592	8,592	8,592	89.72	89.72	770,840	
BM	Basement, Unfinished	0	696	139	17.92	17.92	12,471	
VDK	Deck, Wood	0	1,785	268	13.47	13.47	24,044	
Ttl Gross Liv / Lease Area		21,195	24,714	21,892	1,964,064			

# Property Card: 71 DYKE ROAD

Town of Kennebunkport, ME



## Parcel Information

<b>Parcel ID:</b> 37-5-2 <b>Vision ID:</b> 3904 <b>Owner:</b> OCEAN WOODS RESORT OWNER, LLC <b>Co-Owner:</b> <b>Mailing Address:</b> 2 LIVEWELL DR., SUITE 203  KENNEBUNK, ME 04043	<b>Map:</b> 37-5 <b>Lot:</b> 2 <b>Use Description:</b> HOTELS MDL-94 <b>Zone:</b> GR <b>Land Area in Acres:</b> 10
<b>Sale History</b>	<b>Assessed Value</b>
<b>Book/Page:</b> 18182/165 <b>Sale Date:</b> 2/27/2020 <b>Sale Price:</b> \$2512500.00	<b>Land:</b> \$406,900 <b>Buildings:</b> \$1,344,300 <b>Extra Bldg Features:</b> \$6,700 <b>Outbuildings:</b> \$21,700 <b>Total:</b> \$1,751,200

## Building Details: Building # 1



<b>Model:</b> Commercial <b>Living Area:</b> 21195 <b>Appr. Year Built:</b> 1985 <b>Style:</b> Hotel/Inn <b>Stories:</b> 2 <b>Occupancy:</b> 1 <b>No. Total Rooms:</b> <b>No. Bedrooms:</b> <b>No. Baths:</b> <b>No. Half Baths:</b>	<b>Int Wall Desc 1:</b> Plastered <b>Int Wall Desc 2:</b> <b>Ext Wall Desc 1:</b> Clapboard <b>Ext Wall Desc 2:</b> <b>Roof Cover:</b> Asph/F Gls/Cmp <b>Roof Structure:</b> Gable/Hip <b>Heat Type:</b> Electr Basebrd <b>Heat Fuel:</b> Electric <b>A/C Type:</b> None
-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------



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# 200 foot Abutters List Report

Kennebunkport, ME  
April 12, 2021

## Subject Property:

Parcel Number: 37-5-2  
CAMA Number: 37-5-2  
Property Address: 71 DYKE ROAD

Mailing Address: OCEAN WOODS RESORT OWNER, LLC  
2 LIVEWELL DR., SUITE 203  
KENNEBUNK, ME 04043

## Abutters:

1 Parcel Number: 37-1-2  
CAMA Number: 37-1-2  
Property Address: 56 DYKE ROAD

Mailing Address: MCNELIS, SEAN & MARY  
905 CONTOUR DRIVE  
SAN ANTONIO, TX 78212

2 Parcel Number: 37-1-3  
CAMA Number: 37-1-3  
Property Address: MILLS ROAD

Mailing Address: EMMONS, GROSVENOR B HEIRS  
420 GOOSE ROCKS ROAD  
KENNEBUNKPORT, ME 04046-5303

3 Parcel Number: 37-1-4B  
CAMA Number: 37-1-4B  
Property Address: ROUTE 9

Mailing Address: RACHEL CARSON NAT'L WILDLIFE  
300 WESTGATE CENTER DRIVE  
HADLEY, MA 01035

4 Parcel Number: 37-5-12  
CAMA Number: 37-5-12  
Property Address: 57 DYKE ROAD

Mailing Address: GAYA, LLC  
35 FENDERSON ROAD  
SACO, ME 04072

Parcel Number: 37-5-12A  
CAMA Number: 37-5-12A  
Property Address: BUZZYS WAY

Mailing Address: GAYA, LLC  
35 FENDERSON ROAD  
SACO, ME 04072

5 Parcel Number: 37-5-14C  
CAMA Number: 37-5-14C  
Property Address: 9 ABBEY ROAD

Mailing Address: BUCKLEY, FREDERICK C  
9 ABBEY ROAD  
KENNEBUNKPORT, ME 04046

6 Parcel Number: 37-5-14D  
CAMA Number: 37-5-14D  
Property Address: 15 ABBEY ROAD

Mailing Address: KAREN SUZANNE LOBELLO TRUST  
8070 FRANKFORD ROAD, APT 123  
DALLAS, TX 75252

7 Parcel Number: 37-5-1A  
CAMA Number: 37-5-1A  
Property Address: 9 BUZZYS WAY

Mailing Address: PHILLIPS, ROBIN  
PO BOX 1326  
KENNEBUNKPORT, ME 04046

8 Parcel Number: 37-5-1B  
CAMA Number: 37-5-1B  
Property Address: 21 BUZZYS WAY

Mailing Address: PHILLIPS, WESLEY H & ELIZABETH A  
21 BUZZYS WAY  
KENNEBUNKPORT, ME 04046

9 Parcel Number: 37-5-3  
CAMA Number: 37-5-3  
Property Address: MILLS ROAD

Mailing Address: EMMONS, GEORGE H & MARY L  
TRUSTEES  
420 GOOSE ROCKS ROAD  
KENNEBUNKPORT, ME 04046



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4/12/2021

Page 1 of 2





## 200 foot Abutters List Report

Kennebunkport, ME

April 12, 2021

Parcel Number: 37-5-4  
CAMA Number: 37-5-4  
Property Address: ROUTE 9

Mailing Address: EMMONS CLOCK FARM TRUST  
420 GOOSE ROCKS ROAD  
KENNEBUNKPORT, ME 04046

10 Parcel Number: 37-5-5C  
CAMA Number: 37-5-5C  
Property Address: 12 JENNISON DRIVE

Mailing Address: KRUSZENSKI, DAVID J & TERI L  
12 JENNISON DRIVE  
KENNEBUNKPORT, ME 04046

11 Parcel Number: 37-5-5D  
CAMA Number: 37-5-5D  
Property Address: 15 JENNISON DRIVE

Mailing Address: ELY, JOHN C & ANGELICA C  
15 JENNISON DRIVE  
KENNEBUNKPORT, ME 04046

12 Parcel Number: 37-5-5E  
CAMA Number: 37-5-5E  
Property Address: 14 JENNISON DRIVE

Mailing Address: MCLAUGHLIN, ROBERT A & TRIPPLETT,  
OLETA  
PO BOX 7175  
CAPE PORPOISE, ME 04014

Parcel Number: 37-5-9  
CAMA Number: 37-5-9  
Property Address: GOOSE ROCKS ROAD

Mailing Address: RACHEL CARSON NAT'L WILDLIFE  
300 WESTGATE CENTER DRIVE  
HADLEY, MA 01035

*Duplicate*



www.cai-tech.com

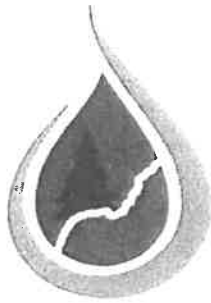
4/12/2021

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Page 2 of 2

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## **5. Water District Capacity Letter**



# Kennebunk, Kennebunkport & Wells Water District

*Proudly serving since 1921*

**Trustees:**  
Thomas P. Oliver (Wells)  
Robert Emmons (Kennebunk)  
James E. Burrows (Kennebunkport)  
Frederick A. Lynk (Ogunquit)

Stephen P. Cox, Superintendent  
Scott J. Minor, Assistant Superintendent  
Wayne A. Brockway, Treasurer

March 24, 2021

Stephen G. Doe, RLA, LEED-AP, Sr. Landscape Architect  
Sebago Technics, Inc.  
75 John Roberts Rd., Suite 4A  
South Portland, ME 04106

Subject: 71 Dyke Road, Kennebunkport - Oceanwoods – Availability of Water

Dear Mr. Doe:

The purpose of this letter is to inform you that near the above location an adequate seasonal domestic water supply is available from the District's 8-inch water main along Dyke Road. Water pressure in this area will typically be approximately 80 psi. For fire suppression purposes typically approximately 1,500 gallons per minute at 20 psi residual pressure is available along Dyke Road near this location. This figure is an *estimate* for planning purposes only. *An actual field test should be performed by the owner's agent prior to designing any fire suppression system.* If a fire suppression system is needed in the future, please contact the District for additional information.

The District has not yet received any plans showing utilities for the proposed development. Please forward plans when they are ready, and the District will comment on the plans to ensure that all proposed water system improvements (domestic and fire suppression) are installed in accordance with District standards and specifications.

At the time of application for new water service please note that the owner may be assessed an appropriate share of the costs of system expansion which will include but may not be limited to a System Development Charge, based upon meter size and/or anticipated water consumption, as approved by the Maine Public Utilities Commission. Also, due to the main in Dyke Road having been financed by a private developer, there may be a contribution due per the Maine PUC's Chapter 650 rules.

If you need any additional information, feel free to contact me.

Sincerely,

Jamie Paschal, P.E.  
District Engineer

92 Main Street, P.O. Box 88, Kennebunk, ME 04043  
Phone 207-985-3385, Fax 207-985-3102  
Visit us at [www.kkw.org](http://www.kkw.org)

---

## **6. Light Fixture Cut Sheet**

**KICHLER.**

A LIGHTING NEW YORK STORE

Search

Search

**spring**  
REFRESH

SHOP NOW »

Customer Care | Professional Discounts

Shop by Room

Shop by Style

Shop by Category

Shop by Collection

Best Sellers

Sales &amp; Clearance

Open Box

Enjoy FREE SHIPPING &amp; RETURNS + No Restock Fees!\*

Home » Seaside » Outdoor Wall Lights » Kichler 9142BK

**Kichler 9142BK**

Seaside 1 Light 17 inch Black Outdoor Wall, X-Large

Call 844.344.3536 For Trade Pricing

See if you qualify for FREE 2-Day Shipping!

Zip Code

Check

**Found It Cheaper Somewhere Else?**

Call or Live Chat our Lighting Experts for the best price! 866-344-3875

~~\$179.99~~ **\$152.99** PER EACH

SAVE 15%

★★★★★ of 2 Reviews

**100+** IN STOCK

Save up to 20% on select Kichler, now through 04/18/21 11:59 PM et.

[View Terms and Conditions](#)Starting at \$14/mo with **affirm**. Prequalify nowOriginal List Price: ~~\$269.25~~ (You Save 43.00%)Finish  
**Black**

FREE Shipping &amp; Returns

NO Restocking Fee

110% Price Match Guarantee

[Zoom Image](#)

1



Add To Shopping Cart

[Add to List](#)[Price Alert](#)[Return Policy](#)[Shipping Policy](#)[110% Price Match](#)**Related Product****Kichler 15239OZ**  
Seaside 120 25.00 watt  
Olde Bronze Landsca...  
\$229.99**Kichler 15438OB**  
Seaside 12 18.50 watt  
Olde Brick Landsca...  
\$229.99**Kichler 15438OZ**  
Seaside 12 18.50 watt  
Olde Bronze Landsca...  
\$214.99[Product Information](#)[General Information](#)[Manufacturer's Catalog\(s\)](#)[Questions](#)**General Information****Kichler 9142BK****Seaside 1 Light 17 inch Black Outdoor Wall, X-Large**

The Seaside(TM) 16.5in. 1 light outdoor wall light features a classic look with its Black finish. The Seaside(TM) wall light works in several aesthetic environments, including rustic, coastal, traditional and transitional.

**Brand Informa**

Have a question about this product? Ask us!

[Live Chat](#)[Submit a Question](#)atch  
rice and we'll

**spring**  
REFRESH

Be Proud of the  
Space You Create

save up to 20% OFF  
select skus  
no code required

**SAVE NOW »**

**Free Returns**  
Within 30 days of purchase  
for like new, uninstalled  
items.

VIP Code: 1QW8MJD914

866-344-3875

Live Chat

Login

My Lists

My Cart

- SKU: 9142BK
- UPC: 783927468268

**Dimensions and Weight**

- Width: 12.00 in.
- Height: 16.50 in.
- Extension/Depth: 13.50 in.
- Backplate/Canopy Width: 5.50 in.
- Backplate/Canopy Length: 5.50 in.
- Height from Center of Wall Opening: 1.25 in.
- Weight: 1.30 lb.

- Material: Aluminum

**Bulb Information**

- Bulbs Included: No
- Dimmable: No
- Bulb Category: Incandescent
- Primary Bulb(s): 1 x 150.00 watts E26 (Medium) A19

**Product Rating**

- Voltage: 120
- Safety Rating: cETLus Listed Wet

**Lighting New York Business Hours**

Call For Our Best Price -  
866.344.3875

**Lighting Experts**  
Mon - Fri 8am to 12am EST  
Sat & Sun 9am to 12am EST

**Customer Care**  
Mon - Fri 8am to 6pm EST

**Other Specifications**

- Ships Via: Ground ( FREE SHIPPING )

**Additional Details**

- Slope Ceiling Kit: N
- Ceiling Wall Mount Included: N
- Install Glass Up or Down: N
- Low Ceiling Adaptable: N

**Kichler's Catalogs**

Click on the catalog to view the PDF in your browser or right-click and hit "Save As" to save the PDF to your computer.



KICHLER



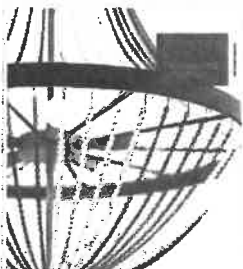
KICHLER



KICHLER



KICHLER



KICHLER

**Customer Reviews****Overall Review for Kichler 9142BK**

(4.5) out of 5.0 reviews... view all reviews

Recommend: Have a question about this product? Ask us!

Live Chat

Submit a Question

---

## **7. Correspondence with Fire Chief**

## Steve Doe

---

**From:** John Everett <JEverett@kennebunkportme.gov>  
**Sent:** Monday, December 28, 2020 1:10 PM  
**To:** Steve Doe  
**Cc:** Werner Gilliam; 'Tim Harrington Atlantic Holdings (timharrington@atlanticholdings.net)'; Justin Grimes  
**Subject:** RE: Oceanwoods re-design concept  
**Attachments:** John Everett.vcf

---

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

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Good Afternoon,

Nothing jumps out at me with the plan here, except for what you already mentioned. I would want all 10 foot wide access roads to be made 20 feet wide. Like hidden pond is acceptable. The turn around near cottage 10 would be great. You could incorporate the turn around with the 6 foot wide path that links the two sides together. All 6 foot wide loops with cottages on them will need to be done the same way, built to look 6 feet wide but can travel 20 feet wide in an emergency. The only one that does not need to be widening is the one that runs by the open area linking the 2 sides. Like Hidden Pond, I worry about the everyday things in regards to parked vehicles that limit our access at any given time. Is the little driveway next to each cottage the only parking allowed? Is there no parking at all times on the access roads? My concern is the policing of these roads at any of the projects now and in the future. I am concerned about having access to a fire related issue in or near one of the cottages and not being able to get my apparatus close enough due to parked cars or other obstructions. Thank you J.

**John Everett**  
Fire Chief



P.O. Box 505  
Kennebunkport, Me. 04046  
(207) 967-4243 ext 171  
(207) 468-2002 Mobile  
Jeverett@kennebunkportme.gov

**From:** Steve Doe <sdoe@sebagotechnics.com>  
**Sent:** Wednesday, December 9, 2020 11:32 AM  
**To:** John Everett <JEverett@kennebunkportme.gov>  
**Cc:** Werner Gilliam <wgilliam@kennebunkportme.gov>; 'Tim Harrington Atlantic Holdings (timharrington@atlanticholdings.net)' <timharrington@atlanticholdings.net>; Justin Grimes <jgrimes@eosinvestors.com>  
**Subject:** FW: Oceanwoods re-design concept

Morning Chief Everett,

Attached is the concept plan I spoke about for Oceanwood resort on Dyke Road. The cottages 1 to 11 are the ones I thought you would probably need a fire lane access to. Currently I have a 10 ft wide drive through here. I presume you will want a minimum of 20 feet for access but hopefully designed like I did at Hidden Pond and the other project which I sent you yesterday. I'll create a turnaround near unit 10. Cottages 21 to 30 have a 20 ft wide fire lane access with a turnaround to them.



We are proposing a new main entrance to the property with the existing being more of a service drive for the restaurant.

Comments welcomed. Eventually I will request a letter from you for inclusion with our application to the Planning board. I'll request that once I have refined this plan and incorporated any items you mention.

Thanks

Steve

Stephen G. Doe, RLA, LEED-AP *Sr. Landscape Architect*

*Maine Licensed Landscape Architect*

Sebago Technics, Inc. | An Employee-Owned Company

75 John Roberts Rd., Suite 4A, South Portland, ME 04106

Office: 207.200.2100 | Direct: 207.200.2056 | Fax: 207.856.2206

[sdoe@sebagotechnics.com](mailto:sdoe@sebagotechnics.com) | [www.sebagotechnics.com](http://www.sebagotechnics.com)



**From:** Steve Doe

**Sent:** Monday, November 16, 2020 11:03 AM

**To:** Werner Gilliam <[wgilliam@kennebunkportme.gov](mailto:wgilliam@kennebunkportme.gov)>

**Cc:** 'Tim Harrington' <[timharrington@atlanticholdings.net](mailto:timharrington@atlanticholdings.net)>; 'Justin Grimes' <[jgrimes@eosinvestors.com](mailto:jgrimes@eosinvestors.com)>; 'Ralph Austin' <[rwa@woodedlaw.com](mailto:rwa@woodedlaw.com)>; Rob Barrett <[rob.barrett@barrettmade.com](mailto:rob.barrett@barrettmade.com)>

**Subject:** Oceanwoods re-design concept

Morning Werner,

Welcome back from vacation. Attached is a refined concept plan for Oceanwoods. The plan is to remove the existing Hotel and Restaurant building and rebuild a new Hotel and Restaurant project, much like was done at The Resort at Goose Rocks. This plan places the new 108 seat restaurant at the site of the existing. This will also be the resort lodge. This will have a new pool and outdoor seating/terrace. We may have an apartment in this on the second floor. A good portion of this is in the SZ zone. Coverage is 20%. Note we have a new entrance drive that is 20 feet wide. The existing 14 ft wide drive will remain but serve as a second drive for delivery trucks and maintenance.

The hotel units are set up as individual cottages, much like Hidden Pond, which given COVID these should be more desirable for safety for guest. Units are 1 and 2 bdr units. 1 bedroom units are 16 ft x 20 ft with 6 ft porch and outdoor shower. 2 Bdr units are 16 ft x 26 ft with 6 ft porch and outdoor shower. Each unit has a space for a golf cart. Main path through cottages is 10 ft wide so maintenance trucks can get though site and two golf carts can pass. Side drives are 6 ft wide. The cottages in rear of lot have a 20 ft wide fire lane access. I do not have one for the front cottages thinking the fire dept can access them from 10 ft drive or parking lot. This will need to be confirmed/reviewed with Chief Everett.

Total bedroom count is 43 with 80 parking spaces sited in the existing parking lot area.

Currently the existing is as follows with required parking calculations added. The existing site does not meet this parking total. We presume there is some guest using the restaurant so parking demand for restaurant is less:

18 rooms @ 1 bdr =	18 spaces
12 rms @ 2 bdr =	24 spaces
1 apt @ 2 bdr =	2 spaces
1 apt @ 3 bdr =	2 spaces
2 condo's @ 1 bdr =	2 spaces
Total bedroom count: =	49 beds
108 seat restaurant @ 1 space/3 seats =	36 spaces
6-10 employees =	5 spaces

Total 87 spaces

Things to consider: We have sited all buildings to meet 40 ft side yard setbacks with a 20 ft vegetated buffer. The parking does not meet this standard as we are hopeful we can utilize the existing parking lot as a grandfathered condition.

We'd like to meet with you to discuss this plan when you have a moment.

Steve

Stephen G. Doe, RLA, LEED-AP *Sr. Landscape Architect*

*Maine Licensed Landscape Architect*

Sebago Technics, Inc. | An Employee-Owned Company

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## **8. Stormwater Management Plan (Narrative only)**

**STORMWATER MANAGEMENT NARRATIVE  
OCEAN WOODS  
KENNEBUNKPORT, MAINE**

**1. Introduction**

This Stormwater Management Narrative has been prepared for EOS Regional Resorts LLC to address the potential impacts associated with the proposed redevelopment to be located at 71 Dyke Road, Kennebunkport, Maine. The stormwater management approach outlined in this report has been designed to suit the proposed development and to comply with applicable regulatory requirements set by the Town of Kennebunkport and the State of Maine.

**2. Existing Conditions**

The project parcel consists of approximately 2.36 acres of developed area within an approximate 10.41 acre lot located at 71 Dyke Road in Kennebunkport, Maine. The site is bounded by Dyke Road to the east, a dense wooded area to the north, an unnamed stream to the east, and a residential lot on the southwesterly side of the parcel. The westerly side of the parcel has been previously developed with a 12,325 SF hotel with an attached restaurant, a large bituminous parking lot, and an inground pool. The easterly side of the parcel is undeveloped with woods and brush coverage. and wetlands that meet a small stream flowing through the property toward Goose Rocks Creek.

Under existing conditions, runoff from the site generally flows east toward the wetlands and on site stream, or to the southwesterly side of the site towards a roadside ditch along Dyke Road or man-made pond. The topography of the site ranges between 2% and 45%, the development has relatively flat slopes, however, the grade between the wetlands and the development and the roadway and the development are steeper.

The proposed development area of the site is not located in an identified flood zone per the FEMA Flood Insurance Rate Map for the Town of Kennebunkport, Maine York County, dated April 18, 1983. A preliminary FEMA flood map dated April 14, 2017, shows a revised flood zone limit that extends onto the site. The preliminary flood map lists the 100-year flood at elevation 13.

**3. Proposed Site Improvements**

The proposed site will keep the existing driveway and parking lot, the existing building will be demolished. The proposed development consists of a lodge with a restaurant, lounge area, attached pool, and deck area. In addition, 30 one- and two-bedroom cottages will be located on the east side of the site. To accommodate the development the existing hotel building will be demolished. The existing site access driveway will remain with an additional entrance proposed further to the south on Dyke Road. The

existing parking lot in the northeast portion of the site is proposed to be reconstructed to accommodate the development. The proposed cottages will each have a single parking space to accommodate a golf cart. Access around the resort includes a 10-foot impervious golf cart lane and a 20-foot fire lane, that will be made of 5-foot pervious shoulders off the impervious 10-foot lane.

Proposed site improvements include both redeveloped and newly developed areas, totaling approximately 4.22 acres of developed area including approximately 1.90 acres of impervious surface.

Stormwater infrastructure for the development will be designed to accommodate proposed site improvements in accordance with Maine DEP Chapter 500. The proposed stormwater management system includes two (2) under drain soil filters and roof drip edges for the purpose of treatment, quality control, and detention. The project's Stormwater Management plan is designed so that the existing drainage patterns will not be significantly altered.

#### **4. Existing Conditions Model**

The existing conditions watershed consists of six (6) subcatchment areas. On the western boundary of the parcel, along Dyke road, drainage is collected from the lot to the north and the frontage of the project site into a 12-inch culvert and leaves the property in a roadside ditch. Stormwater central to the development goes into an existing catch basin that outflows to the east toward the stream flowing through the property. Drainage on the north side of the parking lot flows north offsite of the property. Drainage south of the hotel goes into a man-made pond and drainage southeasterly of the development flows toward the wetlands on the southerly side of the parcel.

#### **Proposed Conditions Model**

The proposed conditions watershed is designed to generally maintain the existing drainage patterns. The drainage from the parking lot area and driveways to access the cottages will be directed, through catch basins, to an underdrain soil filter (UDSF-1) that will provide treatment and peak runoff control. Outflow from UDSF-1 will be directed toward the stream running through the property to the east of the development. Similarly, drainage from the proposed lodge building and the west side of the property will also be directed to an underdrain soil filter (UDSF-2) on the south-westerly corner of the property. Outflow from UDSF-2 will be discharged via piped flow to the wetland on the southerly side of the parcel to prevent drainage from going into the abutting property to the south.

The Best Management Practices use two (2) underdrain soil filters, and roof drip edge filters to treat stormwater runoff. The BMPs will be designed and sized in accordance with DEP BMP standards contained within Chapter 500 and the BMP Manual.

## **5. Stormwater Management**

### **Basic Standard - Chapter 500, Section 4(B)**

Since the project will disturb more than one (1) acre of land area, MDEP Basic Standards apply, requiring that grading and other construction activities on the site do not impede or otherwise alter drainage ways to have an unreasonable adverse impact. Adverse impacts are minimized by providing an Erosion & Sedimentation Control Plan, and an Inspection, Maintenance, and Housekeeping Plan to be implemented during construction and post-construction stabilization of the site. These construction requirements have been developed following Best Management Practice guidelines.

### **General Standard - Chapter 500, Section 4(C)**

Since the project will create more than one (1) acre of impervious surface, MDEP General Standards apply, which require a project's stormwater management system to include treatment measures that will mitigate the increased frequency and duration of channel erosive flows due to runoff from smaller storms, provide for effective treatment of pollutants in stormwater, and mitigate potential temperature impacts. The General Standards require treatment of no less than 95% of the site's created impervious area and no less than 80% of the site's created developed area (landscaped and impervious area combined).

Two (2) underdrain soil filters and roof drip edge filters have been implemented into the stormwater management infrastructure for treatment, quality control, and detention. Underdrain soil filters are very effective at removing a wide range of pollutants.

## 6. Summary

The proposed development requires the use of stormwater management systems to meet treatment requirements specified in MDEP Chapter 500 standards. The proposed stormwater management system includes two (2) underdrain soil filters that have been designed to treat stormwater runoff through Best Management Practices approved by MDEP. The provided Stormwater BMP's provide treatment in accordance with DEP Chapter 500 regulations.

Prepared by:

SEBAGO TECHNICS, INC.



Kailey M. Daigle  
Civil Engineer

KMD/CPT

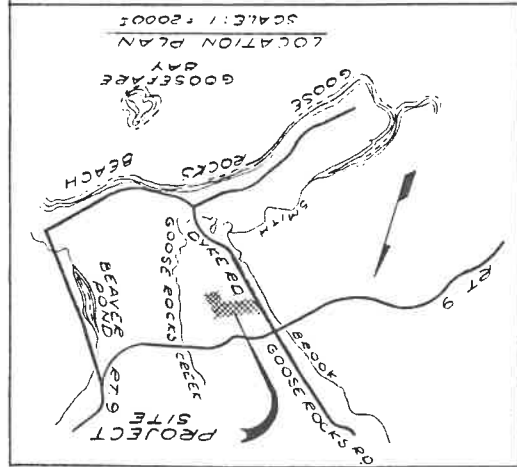
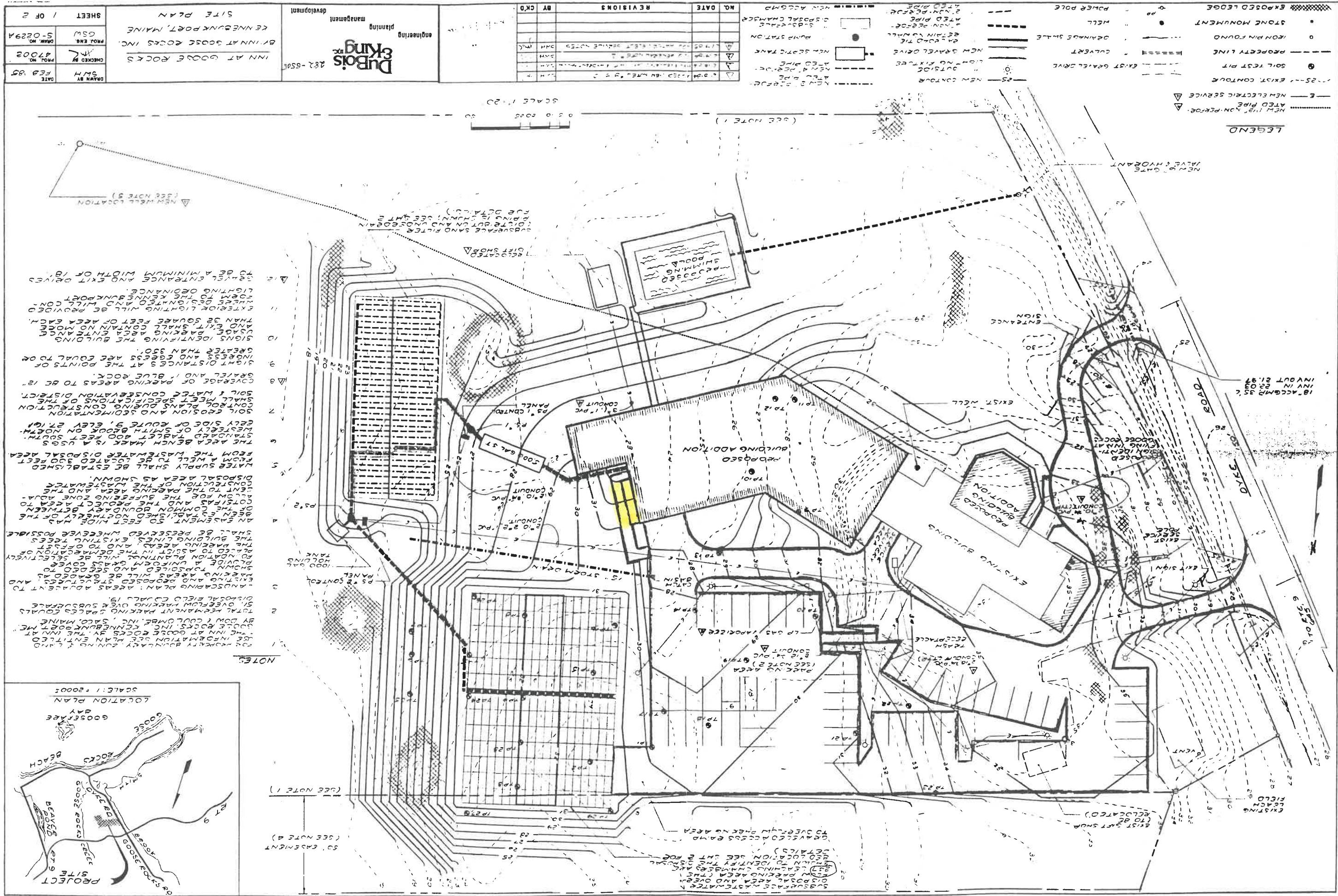


Christopher P. Taylor, PE  
Senior Project Engineer

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## **9. Copy of Previously Approved Site Plan**



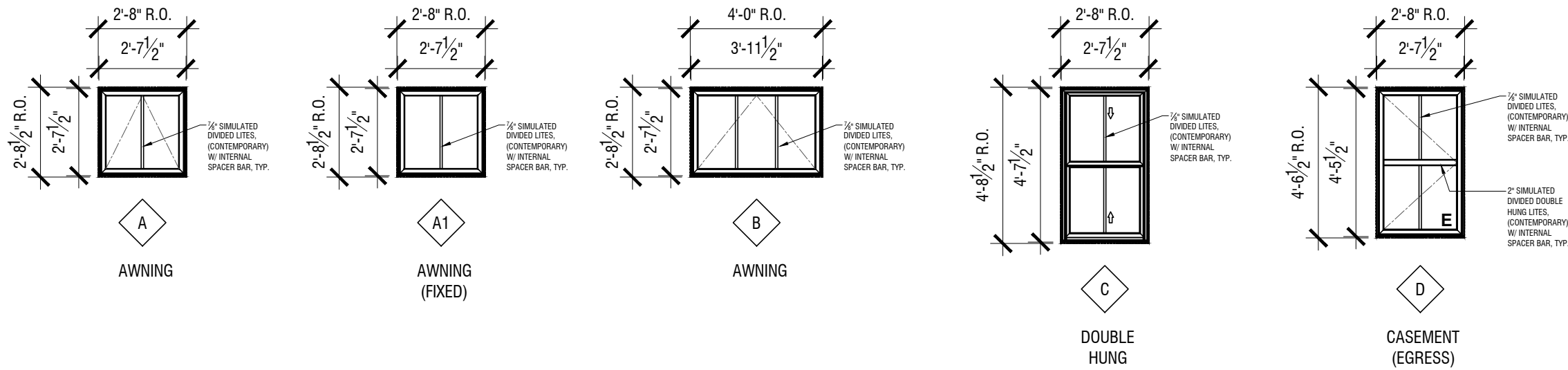


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## **10. Architectural Plans**



WINDOW SCHEDULE														
TYPE	QTY.	MANUF.	MODEL	OPERATION	FRAME SIZE			R.O SIZE (WXH) H INCLUDES + ½" FOR SILL PAN		SCREEN	EXTERIOR FINISH	INTERIOR FINISH	HARDWARE	NOTES
					WIDTH	HEIGHT	JAMB	WIDTH	HEIGHT					
A	1	SIERRA PACIFIC	C-HAW-32x32	AWNING	2'-7 ½"	2'-7 ½"	4 ⅞"	2'-8"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
A1	2	SIERRA PACIFIC	C-HAW-32x32	AWNING (FIXED)	2'-7 ½"	2'-7 ½"	4 ⅞"	2'-8"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
B	1	SIERRA PACIFIC	C-HAW-48x32	AWNING	3'-11 ½"	2'-7 ½"	4 ⅞"	4'-0"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
C	4	SIERRA PACIFIC	C-H3DH-32x56	DOUBLE HUNG	2'-7 ½"	4'-7 ½"	4 ⅞"	2'-8"	4'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
D	1	SIERRA PACIFIC	C-H3CS-32x54	CASEMENT	2'-7 ½"	4'-5 ½"	4 ⅞"	2'-8"	4'-6 ½"	BETTER VUE	TBD	TBD	TBD	EGRESS WINDOW (MEETS OR EXCEEDS 5.7 SQ. FT. MIN. CLEAR OPENING PER IBC 1030.2)
NOTES:														
1. GENERAL CONTRACTOR SHALL CONFIRM ALL JAMB DEPTH DIMENSIONS PRIOR TO PLACING THE WINDOW ORDER.														
2. ALL GLASS TO BE TEMPERED AS REQUIRED BY CODE.														
4. ALL WINDOWS TO HAVE 7/8" SIMULATED DIVIDED LITES WITH INTERNAL SPACER BAR, TYP.														



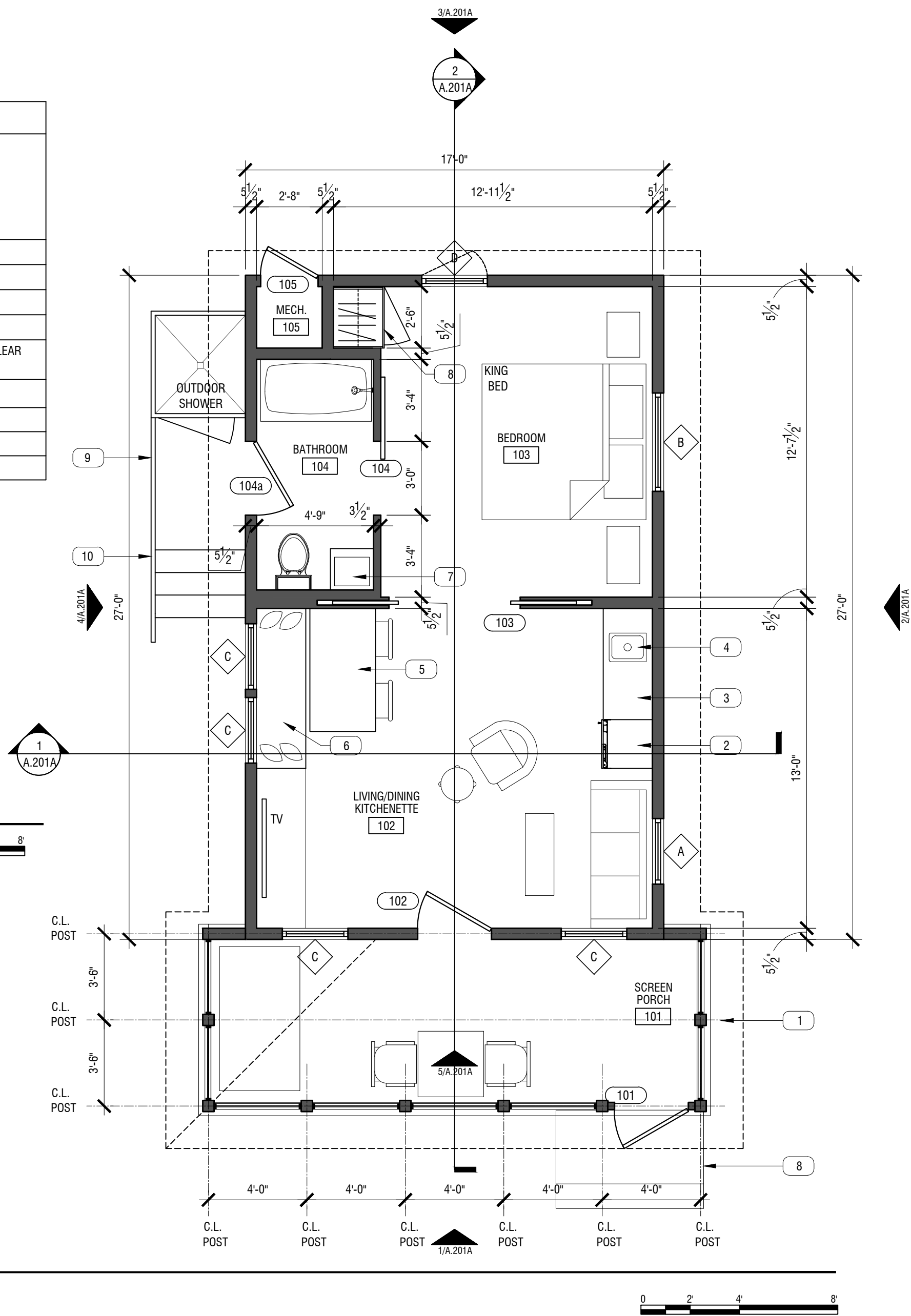
## 2 WINDOW TYPES

SCALE: 1/4" = 1'-0"



## 1 COTTAGE 'A' FLOOR PLAN

SCALE: 1/8" = 1'-0"



### LEGEND:

- NEW WALL
- 123 DOOR TAG, SEE SHEET A.101A FOR DOOR SCHEDULE
- NO. WINDOW TAG, SEE SHEET A.101A FOR DOOR SCHEDULE

### GENERAL NOTES:

- SEE G.001 FOR SYMBOLS, ABBREVIATIONS AND GENERAL INFORMATION

### KEYED NOTES:

- 1 CUSTOM SCREEN PANELS
- 2 REFRIGERATOR
- 3 CUSTOM KITCHENETTE CABINETS
- 4 PEDESTAL SINK
- 5 CUSTOM BANQUETTE BENCH
- 6 CUSTOM INTEGRATED DINING TABLE
- 7 CUSTOM WARDROBE
- 8 STONE STEPS AS REQ'D, SEE LANDSCAPE DRAWINGS

DOOR SCHEDULE																
MARK	LOCATION	DESCRIPTION	TYPE	DOOR					HARDWARE MANUFACTURER	HARDWARE FIXTURE	HARDWARE ROSETTE	HARDWARE OPERATION	DOOR STOP	HARDWARE FINISH	RATING	NOTES
				WIDTH	HEIGHT	THICK	MATERIAL	TYPE								
101	SCREEN PORCH	WOODEN SCREEN DOOR COMPANY - HAMPTON	EXTERIOR	3'-0"	6'-8"	-	WOOD/SCREEN	--	--						--	--
102	LIVING/DINING	SIMPSON 37444	EXTERIOR	3'-0"	6'-8"	1 ¾"	WOOD	--	--						--	--
103	BEDROOM	--	INTERIOR (DOUBLE POCKET)	2'-8" EA.	6'-8" EA.	1 ¾"	--	--	--						--	--
104	BATHROOM	--	INTERIOR (BARN)	3'-4"	7'-0"	1 ¾"	--	--	--						--	--
104a	BATHROOM	--	EXTERIOR			1 ¾"										
105	MECHANICAL	--	EXTERIOR			1 ¾"										
NOTES:																
1. GENERAL CONTRACTOR SHALL CONFIRM ALL JAMB DEPTH DIMENSIONS PRIOR TO PLACING THE DOOR ORDER.																
2. ALL GLASS TO BE TEMPERED AS REQUIRED BY CODE.																
3. CONFIRM CLEAR OPENING DIMENSIONS AT ALL EXTERIOR DOORS. VERIFY THEY MEET ANY ADA REQUIREMENTS.																

REVISIONS:

DRAWING TITLE:

# A.101A COTTAGE 'A' FLOOR PLAN

DATE OF ISSUE:

APRIL, 15, 2021

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SCALE:

AS NOTED

PROJECT NAME:

TIDES POOL AND BIKE

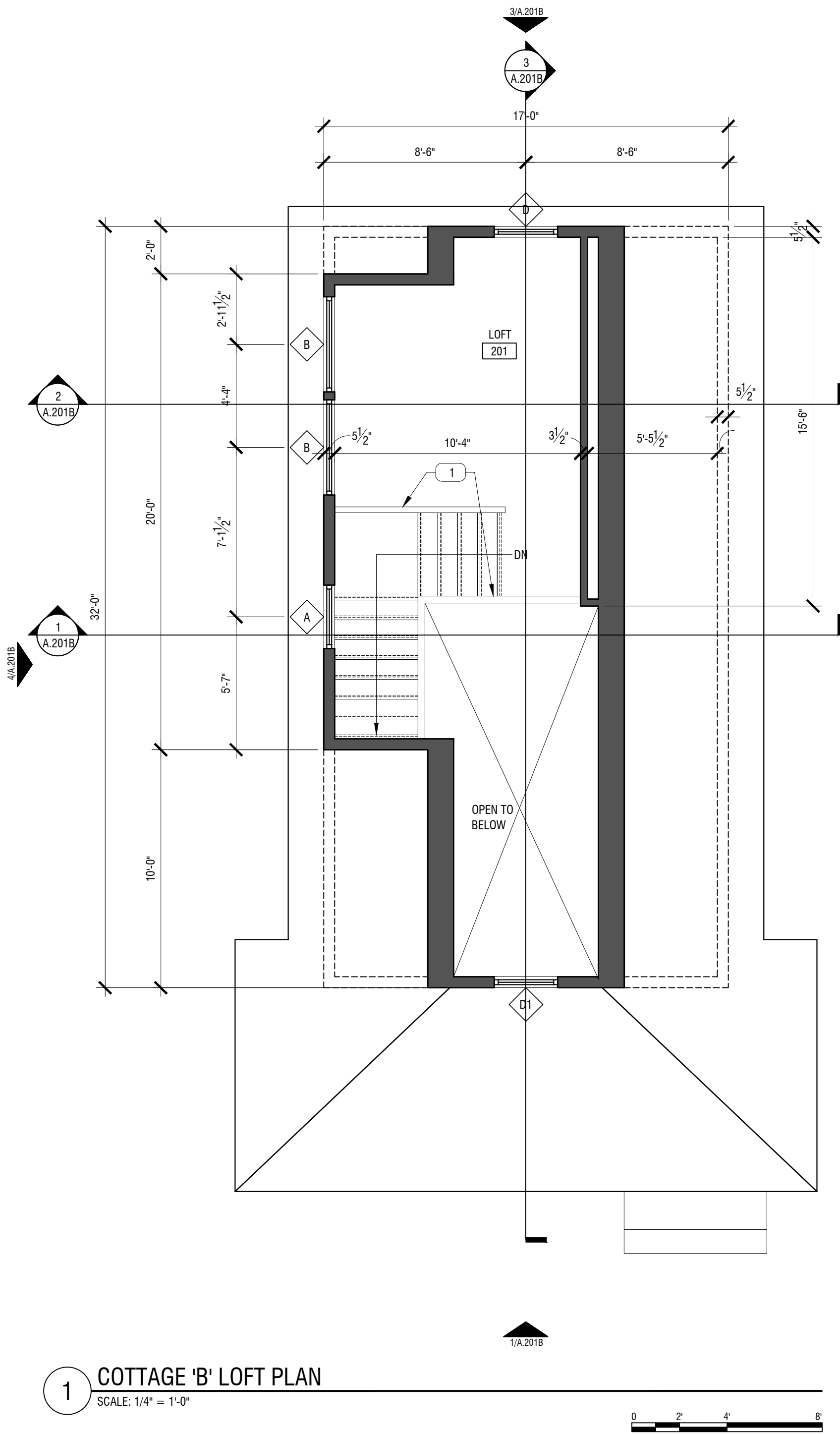
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KENNEDYPORT, MAINE, 04014

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A.102B COTTAGE 'B' LOFT PLAN

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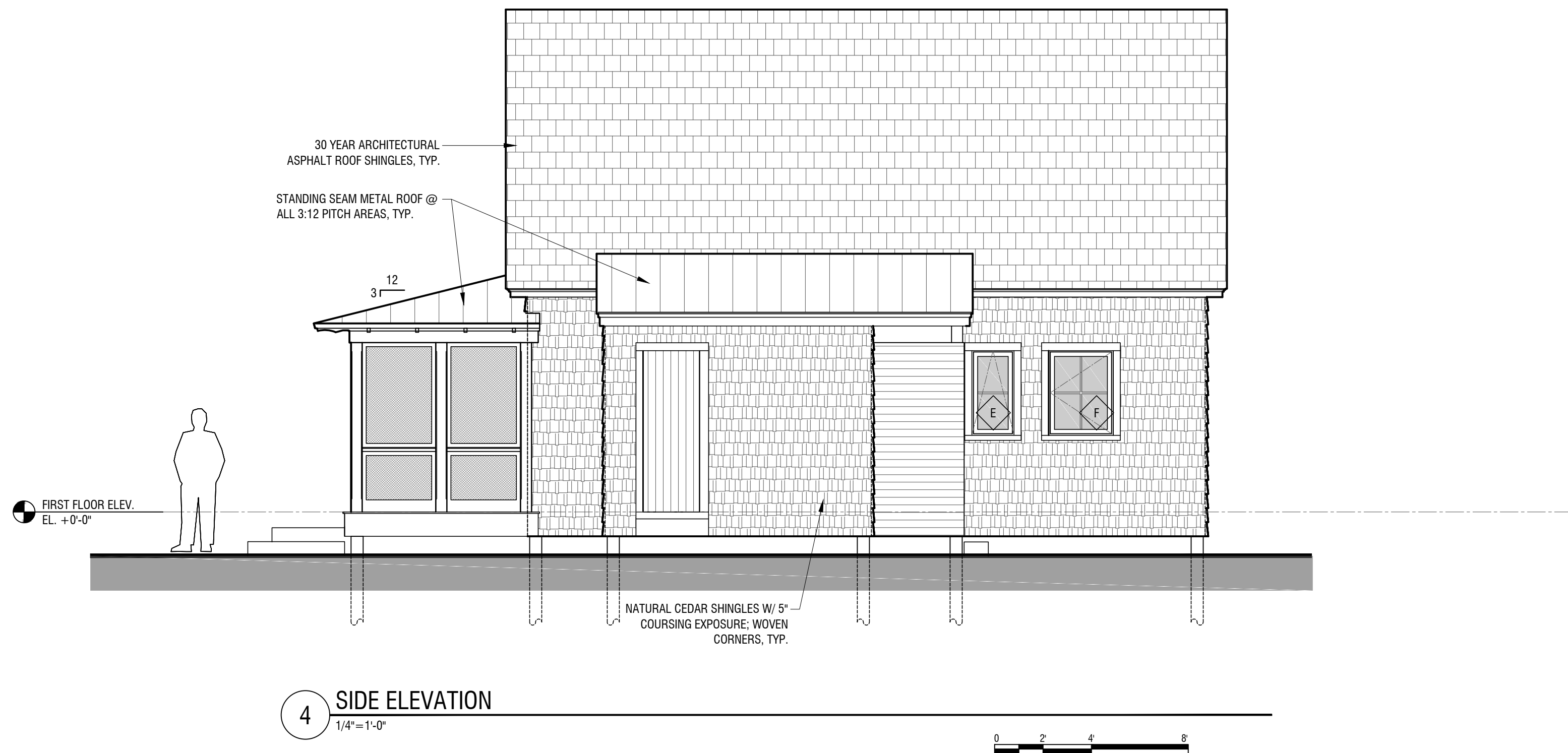
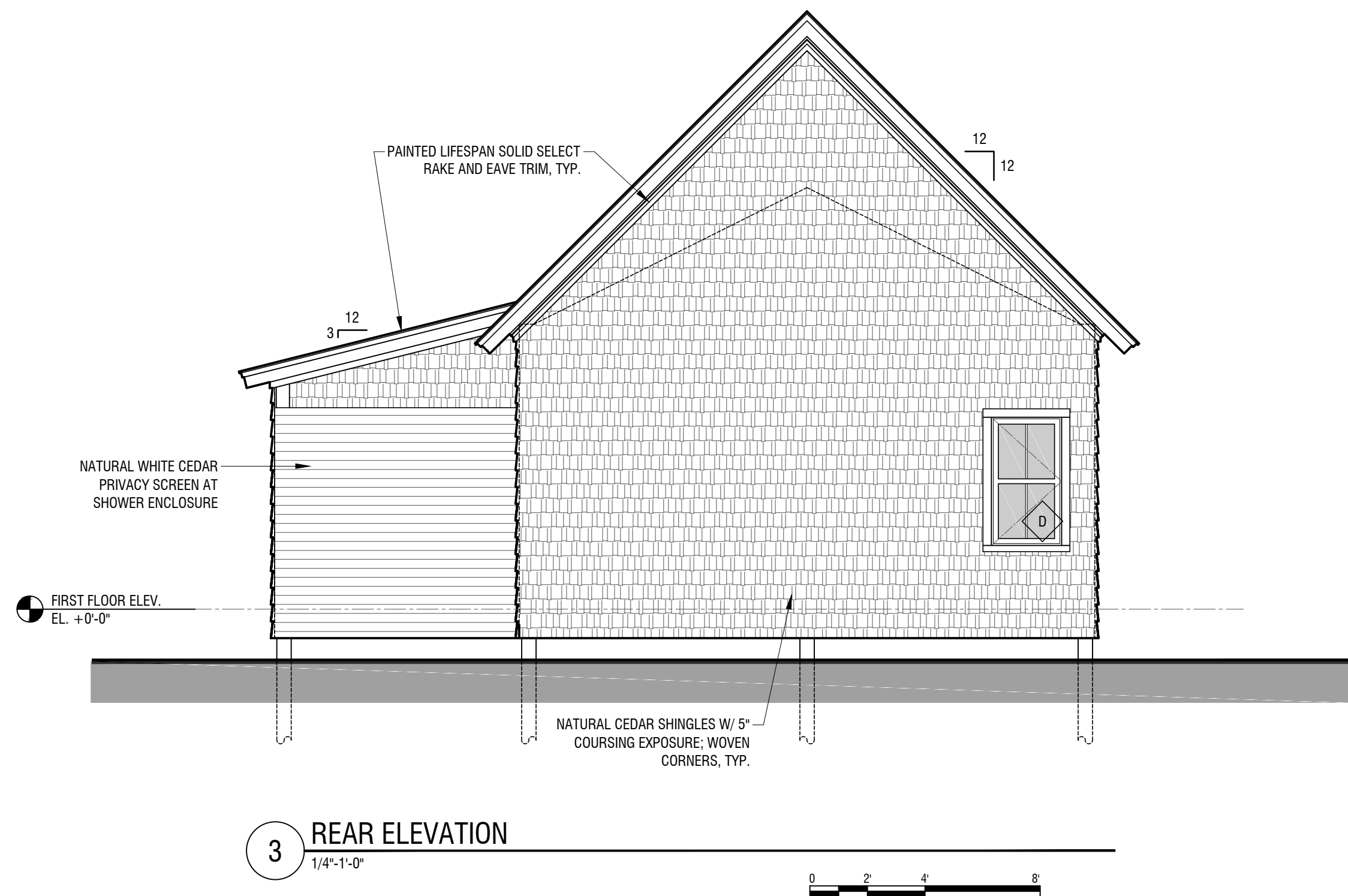
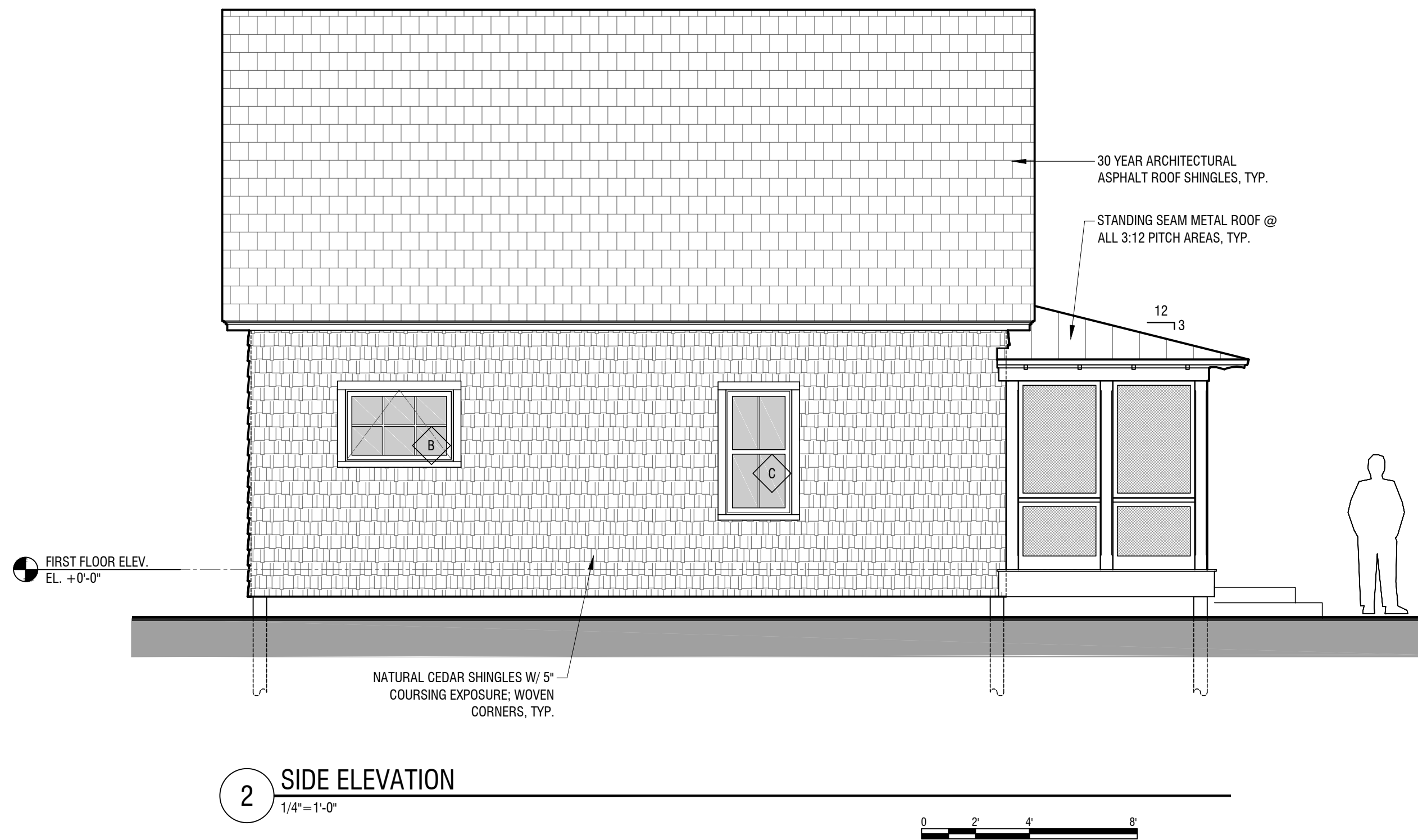
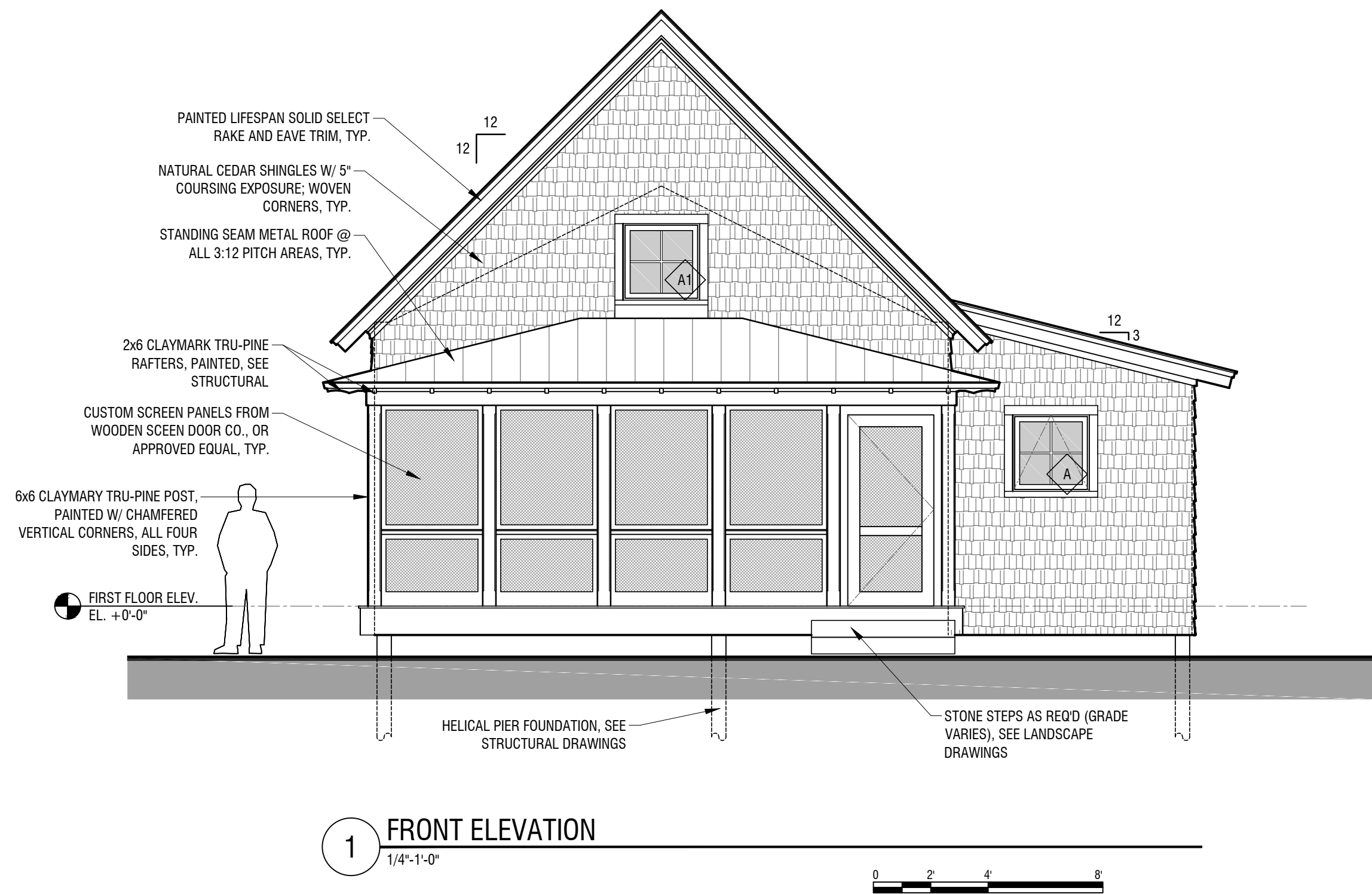
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71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04074

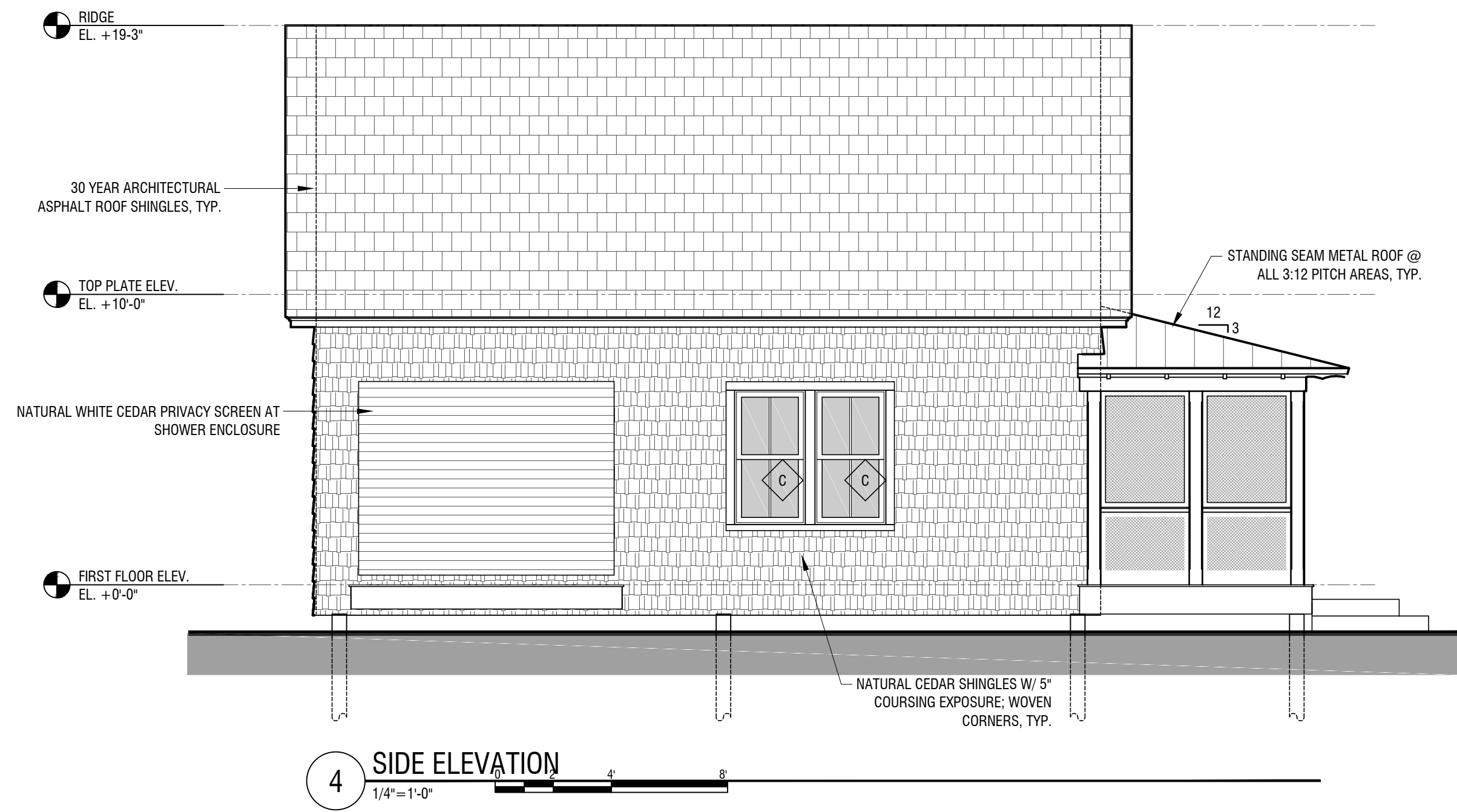
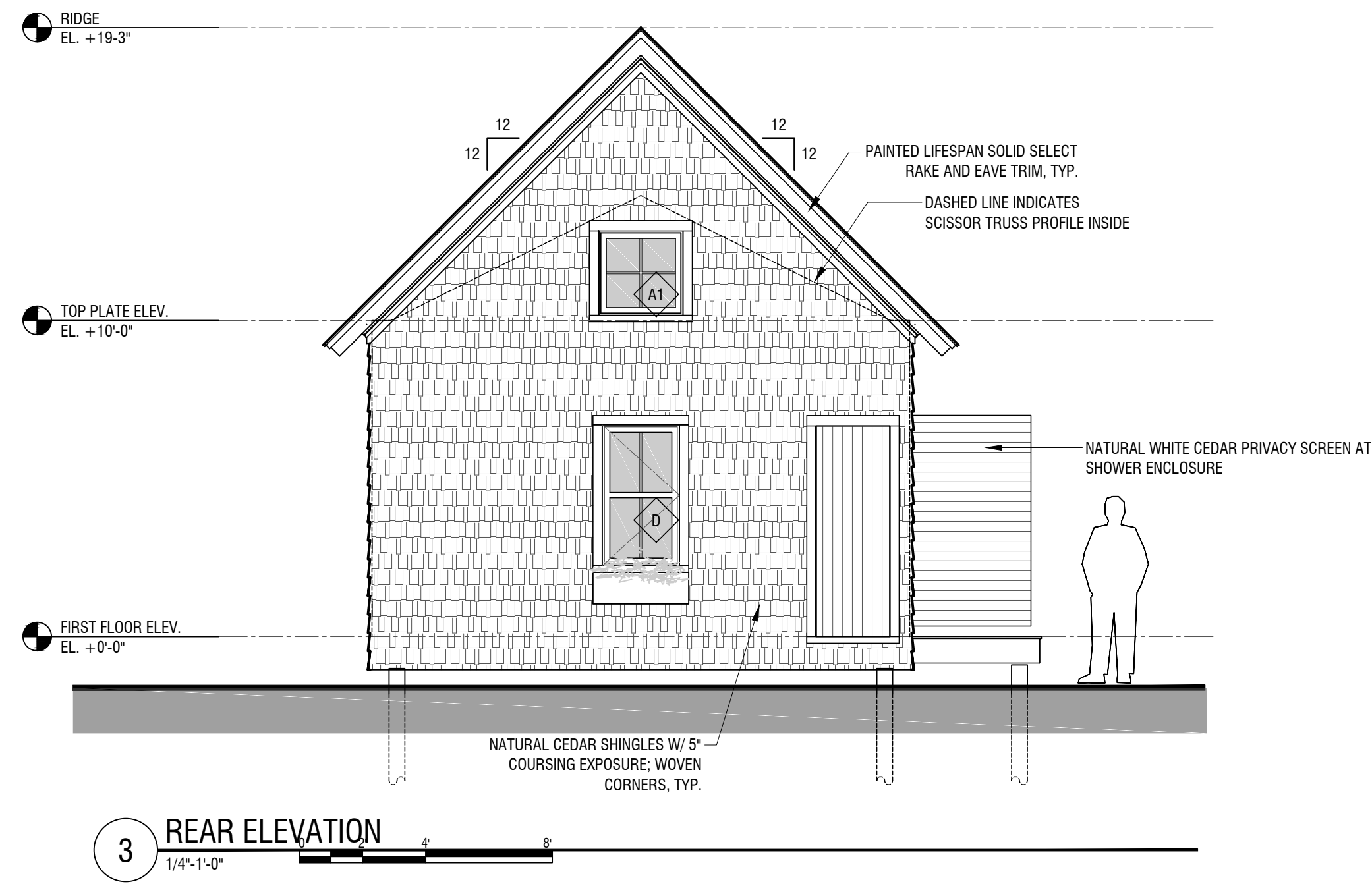
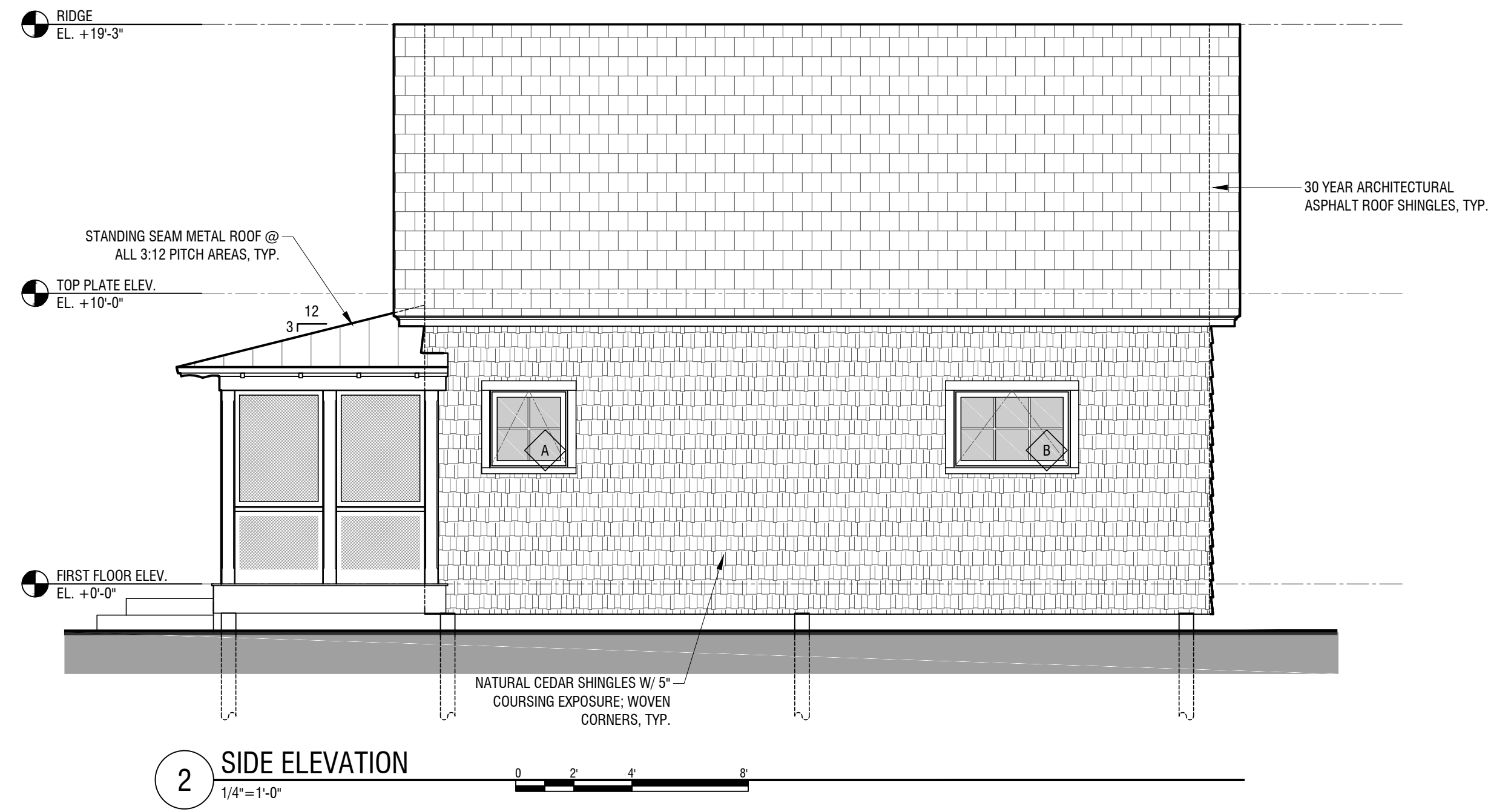
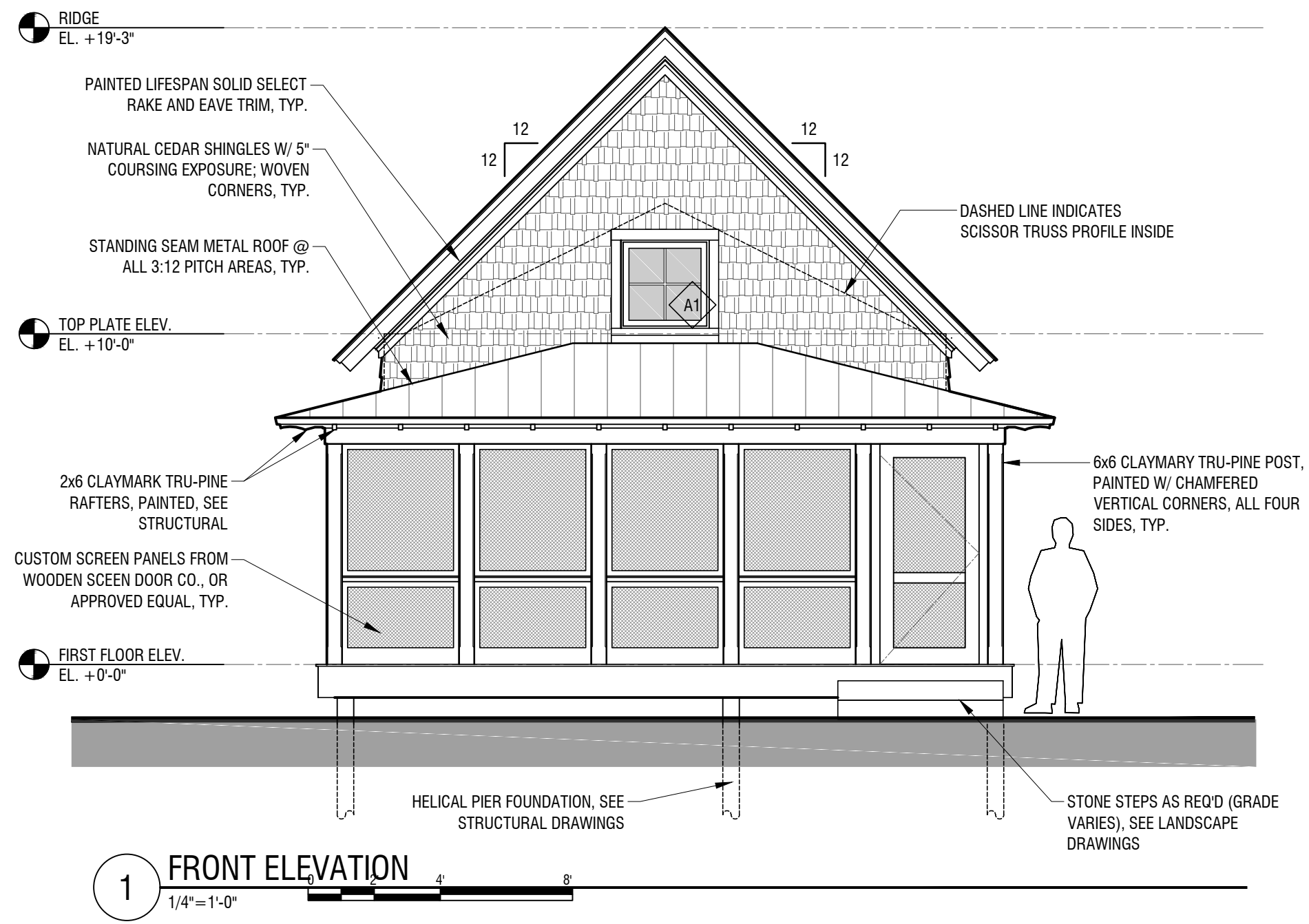
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DATE OF ISSUE: APRIL, 15, 2021 ISSUED FOR: ISSUED FOR PRICING SCALE: AS NOTED	DRAWING TITLE: <b>A.201C</b> EXTERIOR ELEVATIONS COTTAGE 'C'		PROJECT NAME: TIDES POOL AND BIKE 71 DYKE ROAD KENNEBUNKPORT, MAINE, 04014
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PROJECT NAME:  
TIDES POOL AND BIKE  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04014

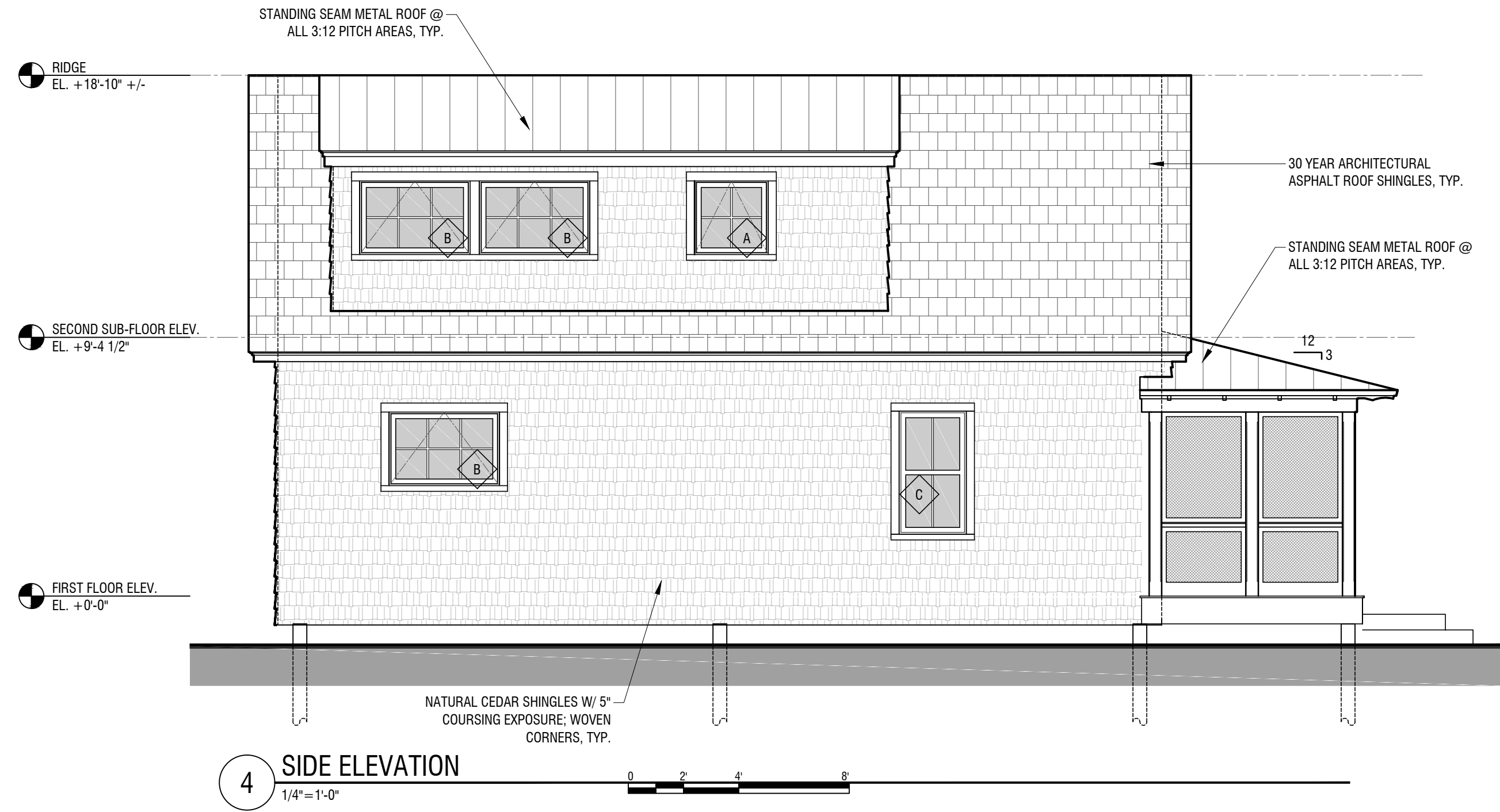
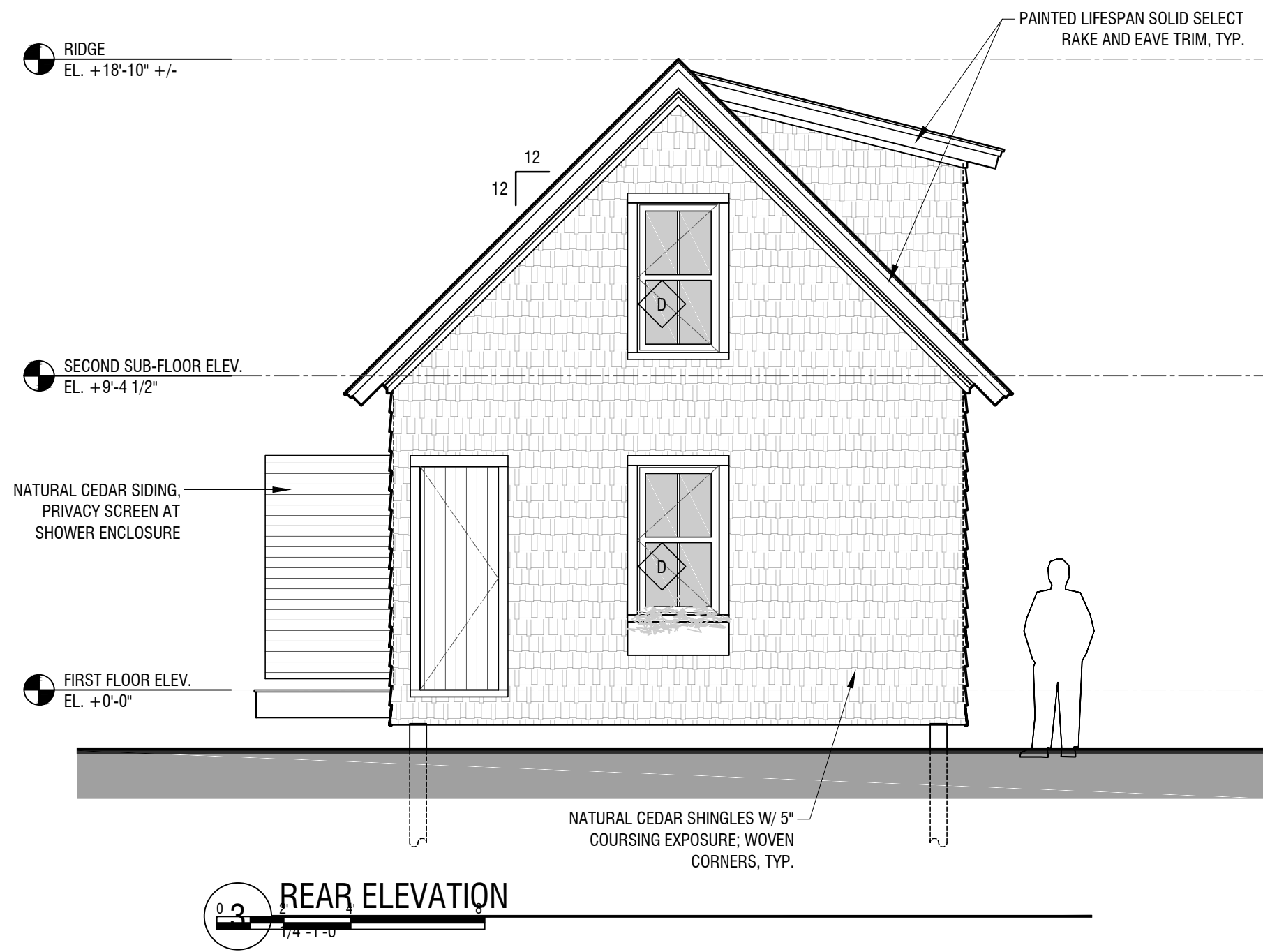
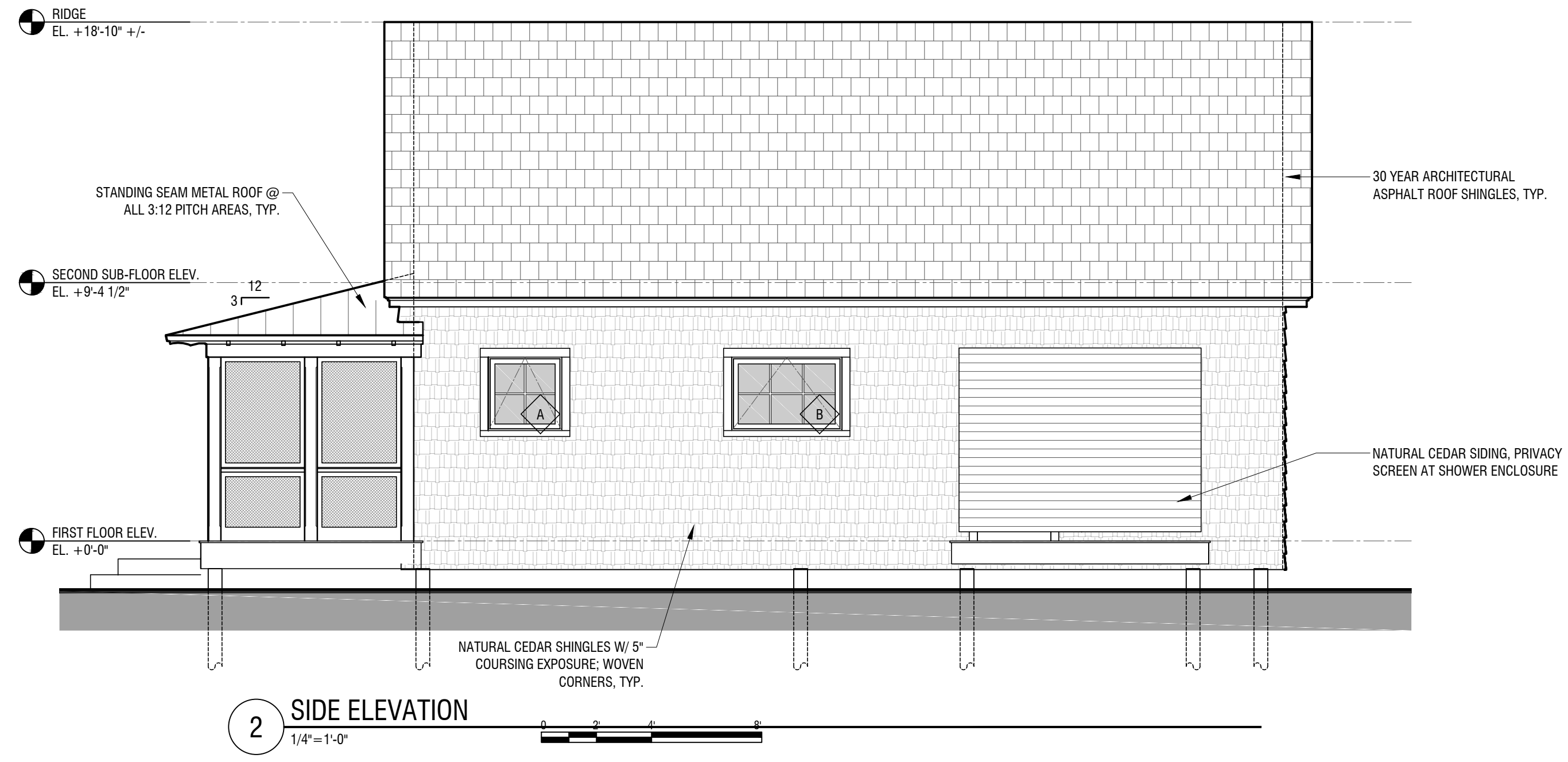
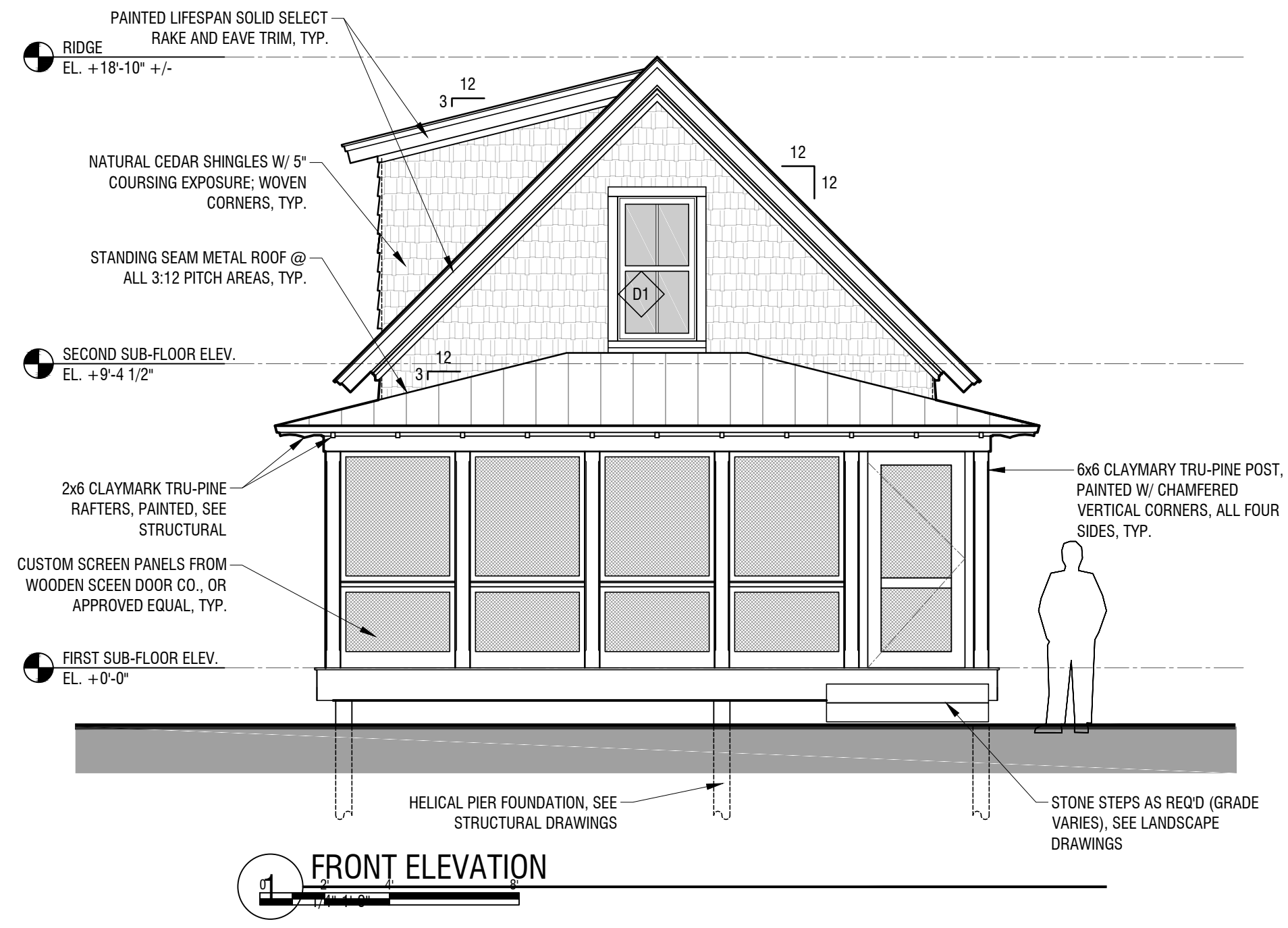
PROJECT NAME:  
TIDES POOL AND BIKE  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04014

PROJECT NAME:  
TIDES POOL AND BIKE  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04014

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REVISIONS:

COTTAGE 'B'  
EXTERIOR ELEVATIONS

A.201B

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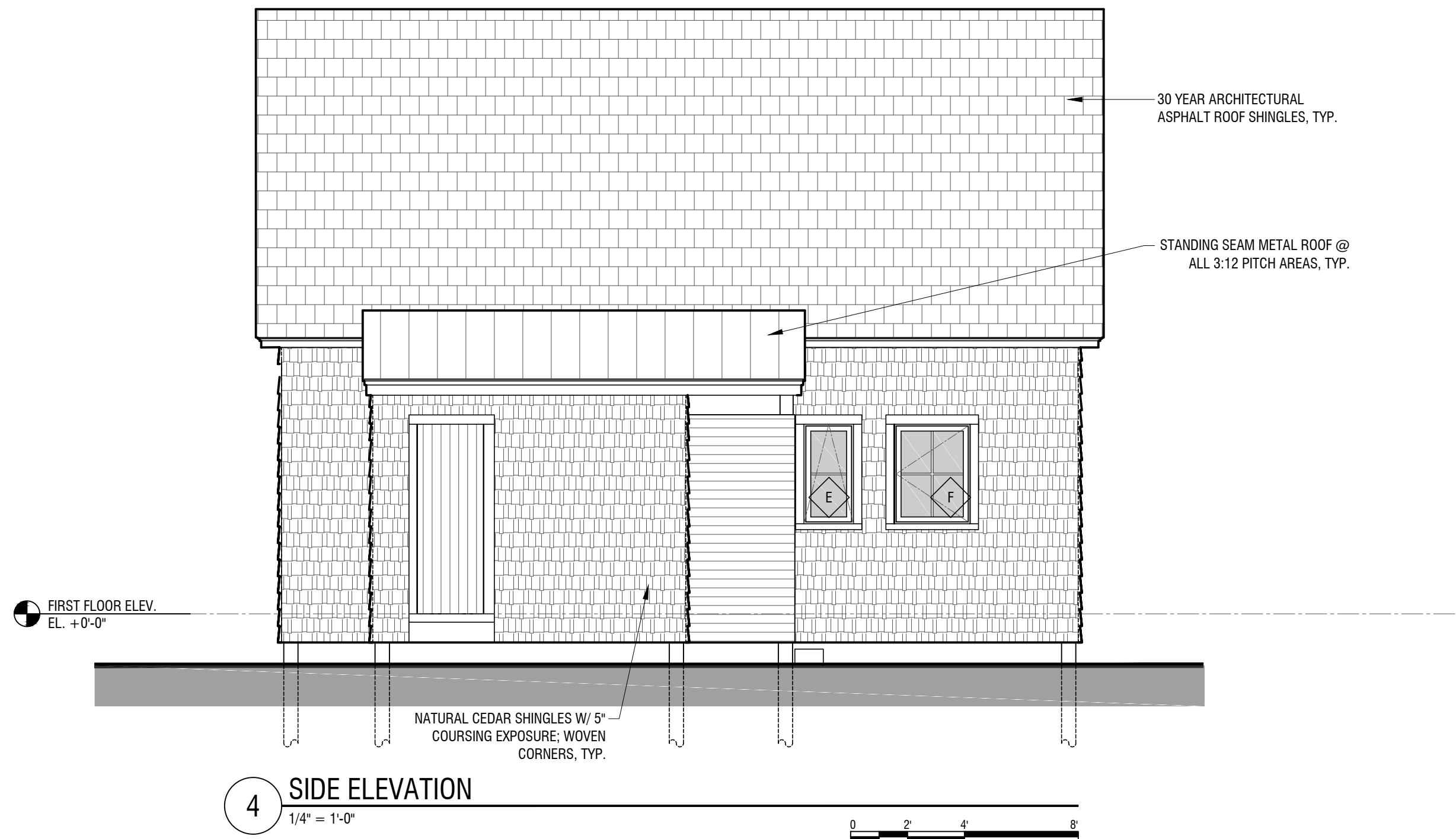
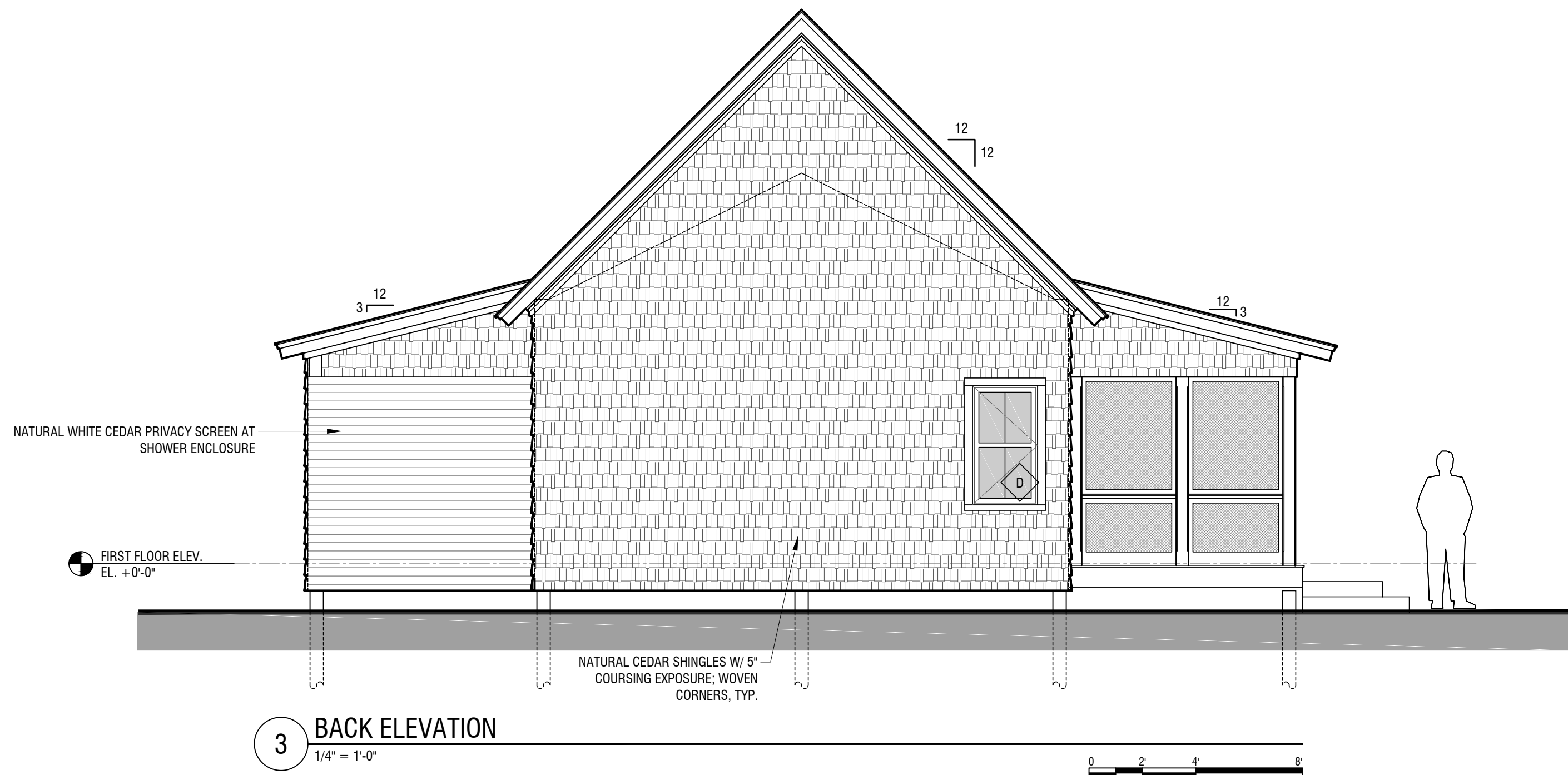
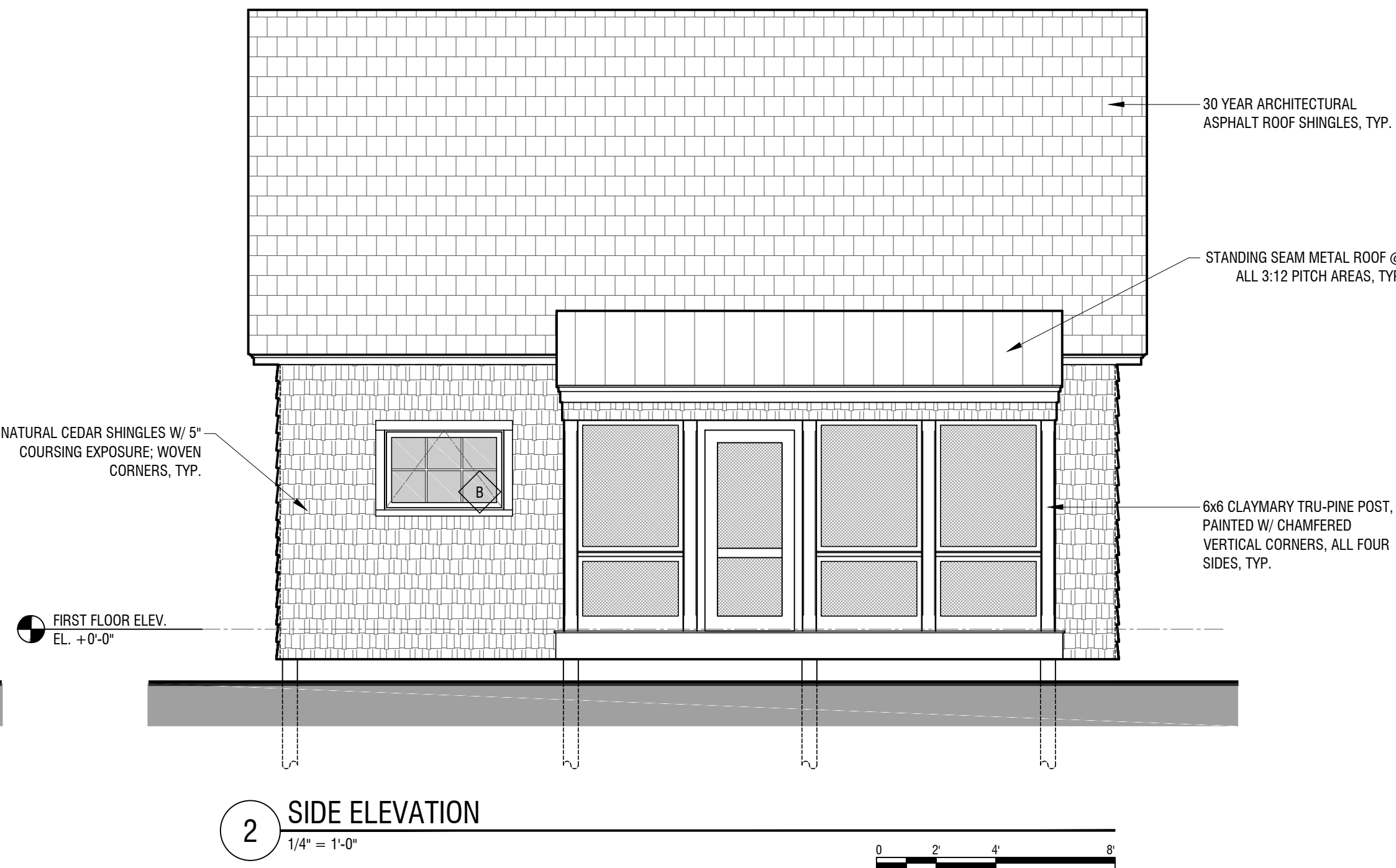
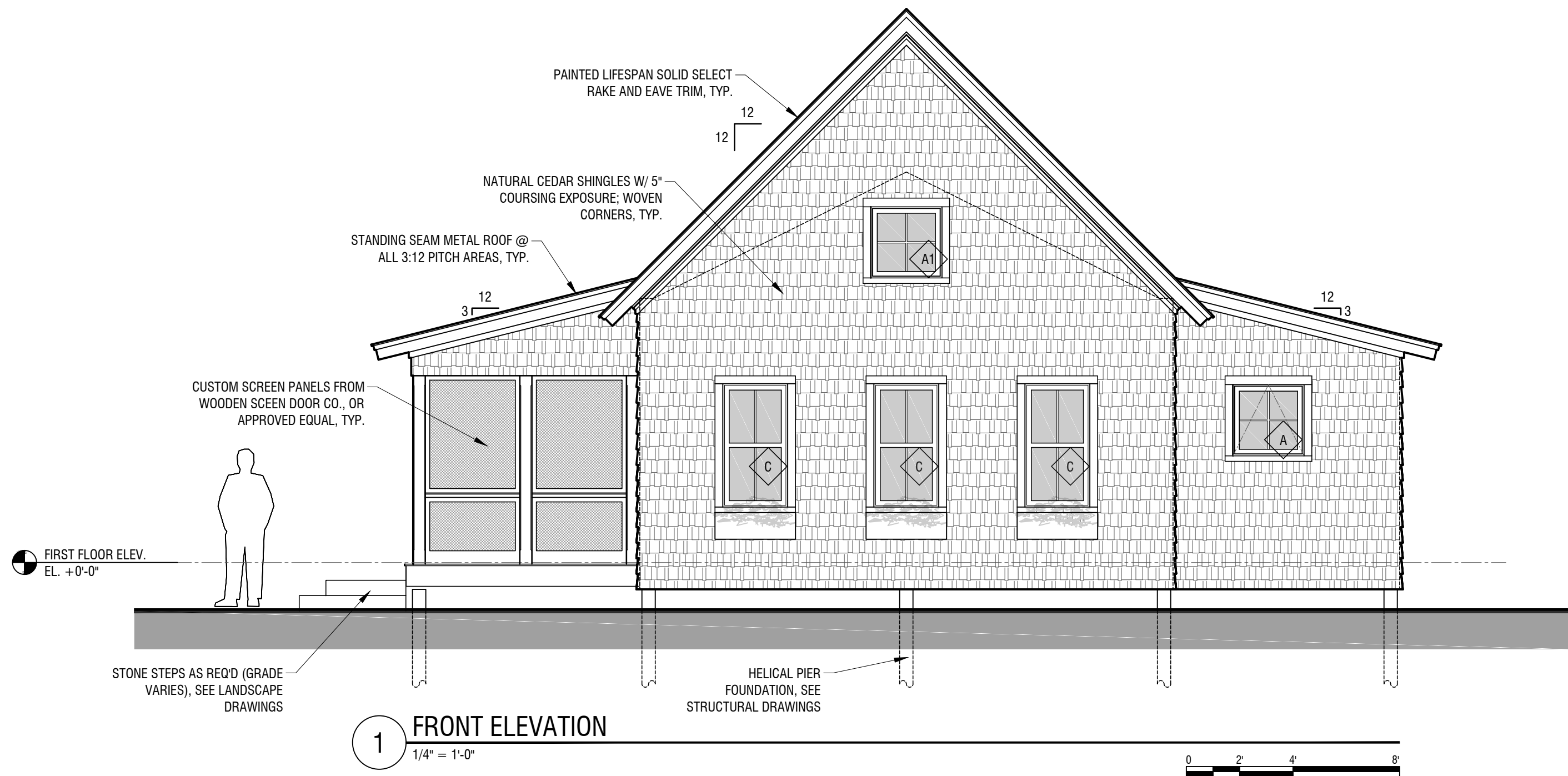
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REVISIONS:

EXTERIOR ELEVATIONS  
COTTAGE 'D'

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71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04014

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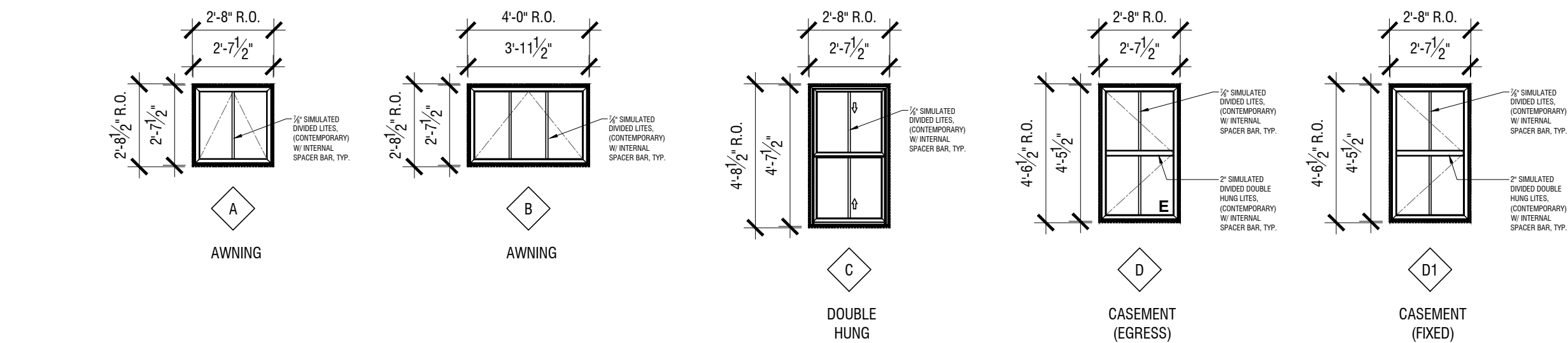
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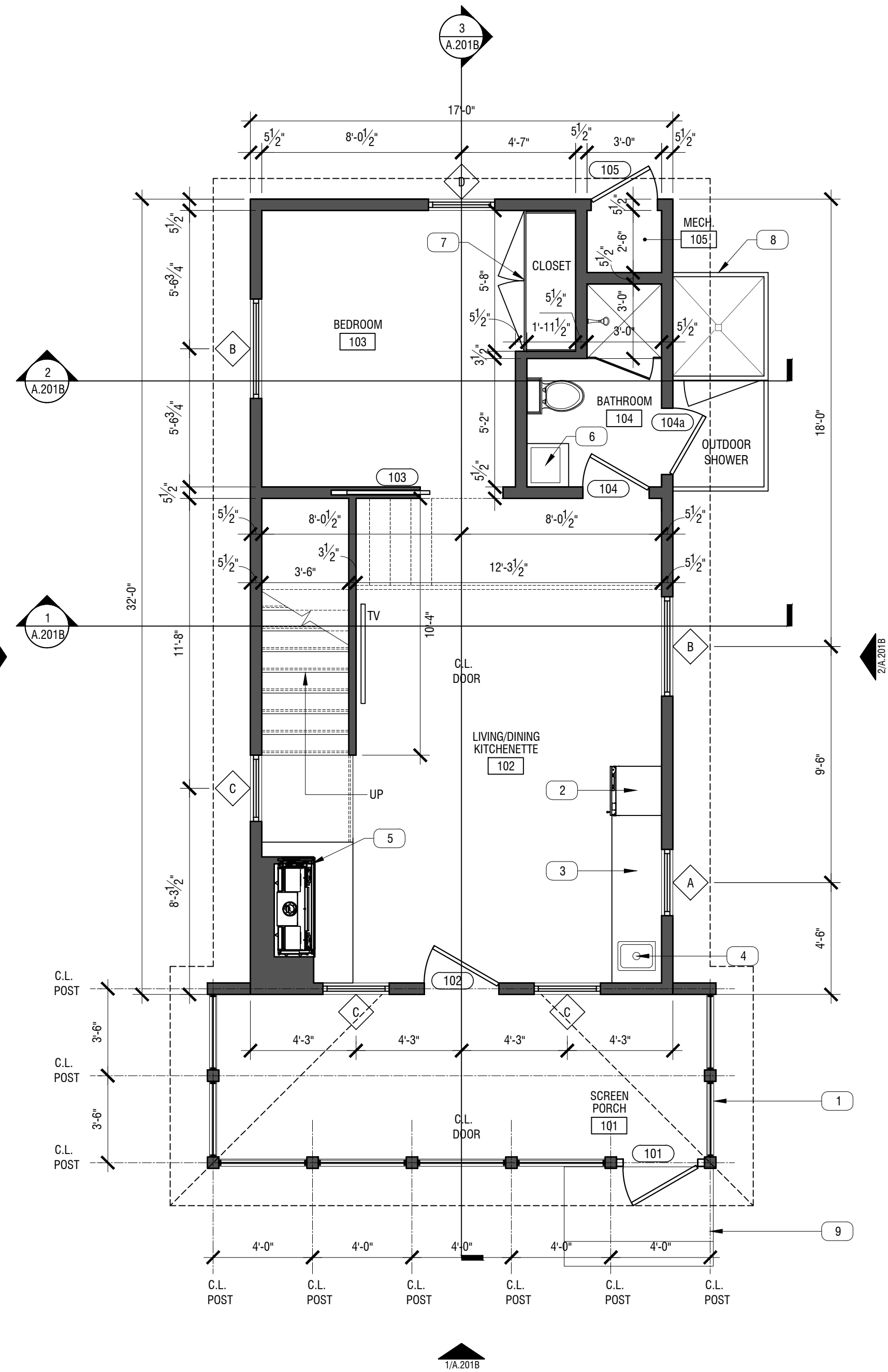
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WINDOW SCHEDULE														
TYPE	QTY.	MANUF.	MODEL	OPERATION	FRAME SIZE			R.O SIZE (WXH) H INCLUDES + ½" FOR SILL PAN		SCREEN	EXTERIOR FINISH	INTERIOR FINISH	HARDWARE	NOTES
					WIDTH	HEIGHT	JAMB	WIDTH	HEIGHT					
A	2	SIERRA PACIFIC	C-HAW-32x32	AWNING	2'-7 ½"	2'-7 ½"	4 ⅞"	2'-8"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
B	4	SIERRA PACIFIC	C-HAW-48x32	AWNING	3'-11 ½"	2'-7 ½"	4 ⅞"	4'-0"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
C	3	SIERRA PACIFIC	C-H3DH-32x56	DOUBLE HUNG	2'-7 ½"	4'-7 ½"	4 ⅞"	2'-8"	4'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
D	2	SIERRA PACIFIC	C-H3CS-32x54	CASEMENT	2'-7 ½"	4'-5 ½"	4 ⅞"	2'-8"	4'-6 ½"	BETTER VUE	TBD	TBD	TBD	EGRESS WINDOW (MEETS OR EXCEEDS 5.7 SQ. FT. MIN. CLEAR OPENING PER IBC 1030.2)
D1	1	SIERRA PACIFIC	C-H3CS-32x54	CASEMENT (FIXED)	2'-7 ½"	4'-5 ½"	4 ⅞"	2'-8"	4'-6 ½"	BETTER VUE	TBD	TBD	TBD	--
NOTES:														
1. GENERAL CONTRACTOR SHALL CONFIRM ALL JAMB DEPTH DIMENSIONS PRIOR TO PLACING THE WINDOW ORDER.														
2. ALL GLASS TO BE TEMPERED AS REQUIRED BY CODE.														
4. ALL WINDOWS TO HAVE 7/8" SIMULATED DIVIDED LITES WITH INTERNAL SPACER BAR, TYP.														



2 WINDOW TYPES  
SCALE: 1/4" = 1'-0"



1 COTTAGE 'B' FLOOR PLAN  
SCALE: 1/4" = 1'-0"



- LEGEND:
- NEW WALL
  - 123 DOOR TAG, SEE SHEET A.101B FOR DOOR SCHEDULE
  - NO. WINDOW TAG, SEE SHEET A.101B FOR DOOR SCHEDULE

- GENERAL NOTES:
- SEE G.001 FOR SYMBOLS, ABBREVIATIONS AND GENERAL INFORMATION

- KEYED NOTES:
- 1 CUSTOM SCREEN PANELS
  - 2 REFRIGERATOR
  - 3 CUSTOM KITCHENETTE CABINETS
  - 4 SINK
  - 5 FIREPLACE
  - 6 PEDESTAL SINK
  - 7 CUSTOM WARDROBE
  - 8 OUTDOOR SHOWER
  - 9 6" STONE STEPS

MARK	LOCATION	DESCRIPTION	TYPE	DOOR					HARDWARE MANUFACTURER	HARDWARE FIXTURE	HARDWARE ROSETTE	HARDWARE OPERATION	DOOR STOP	HARDWARE FINISH	RATING	NOTES
				WIDTH	HEIGHT	THICK	MATERIAL	TYPE								
101	SCREEN PORCH	WOODEN SCREEN DOOR COMPANY - HAMPTON	EXTERIOR	3'-0"	6'-8"	-	WOOD/SCREEN	--	--						--	--
102	LIVING/DINING	SIMPSON 37444	EXTERIOR	3'-0"	6'-8"	1 ¾"	WOOD	--	--						--	--
103	BEDROOM	--	INTERIOR (POCKET)	3'-4"	6'-8"	1 ¾"	--	--	--						--	--
104	BATHROOM	--	INTERIOR	2'-8"	6'-8"	1 ¾"	--	--	--						--	--
104a	BATHROOM	--	EXTERIOR	2'-8"	6'-8"	1 ¾"										
105	MECHANICAL	--	EXTERIOR	2'-8"	6'-8"	1 ¾"										
NOTES:																
1. GENERAL CONTRACTOR SHALL CONFIRM ALL JAMB DEPTH DIMENSIONS PRIOR TO PLACING THE DOOR ORDER.																
2. ALL GLASS TO BE TEMPERED AS REQUIRED BY CODE.																
3. CONFIRM CLEAR OPENING DIMENSIONS AT ALL EXTERIOR DOORS. VERIFY THEY MEET ANY ADA REQUIREMENTS.																

REVISIONS:

DRAWING TITLE:  
**A.101B COTTAGE 'B' FLOOR PLAN**

DRAWING TITLE:

DATE OF ISSUE:  
APRIL, 15, 2021

ISSUED FOR:  
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SCALE:  
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PROJECT NAME:  
TIDES POOL AND BIKE  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04014

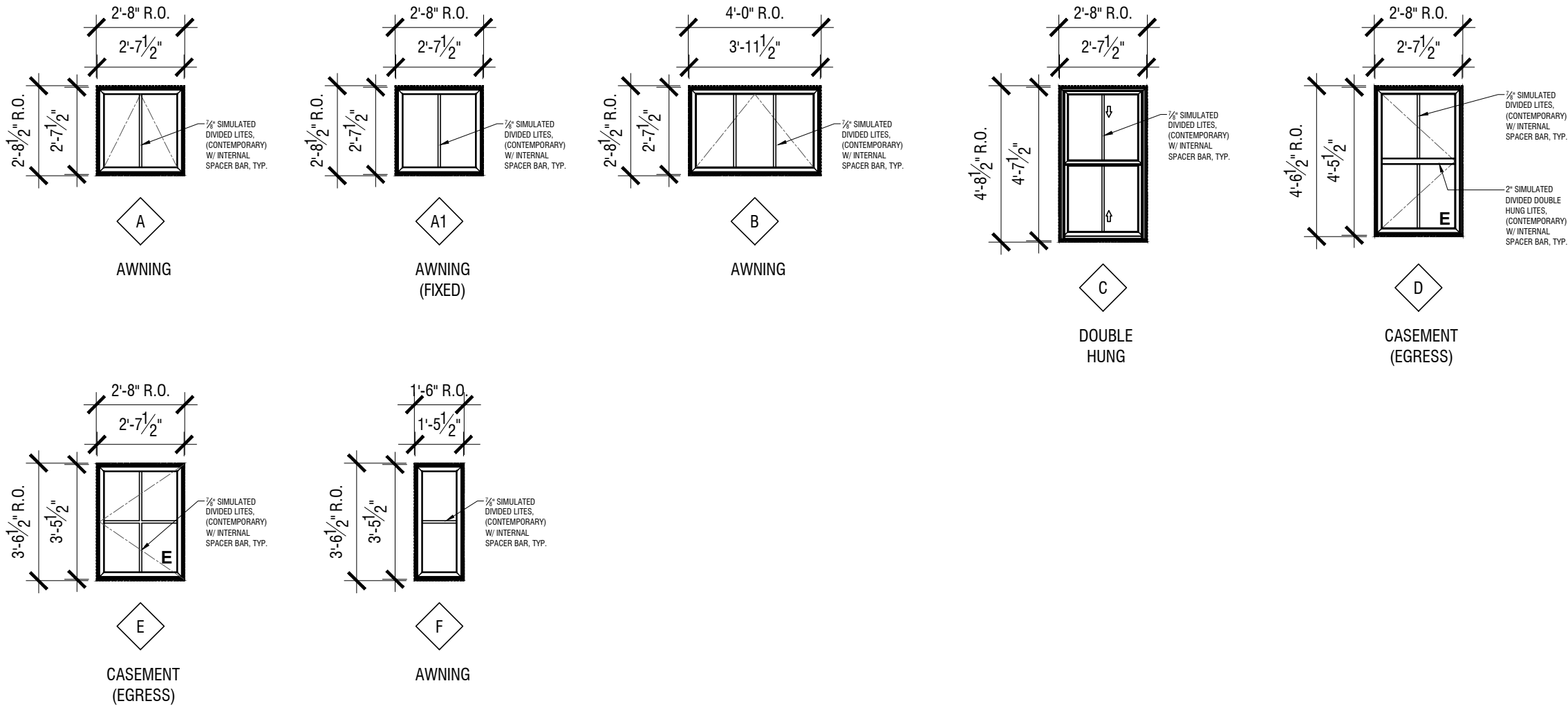
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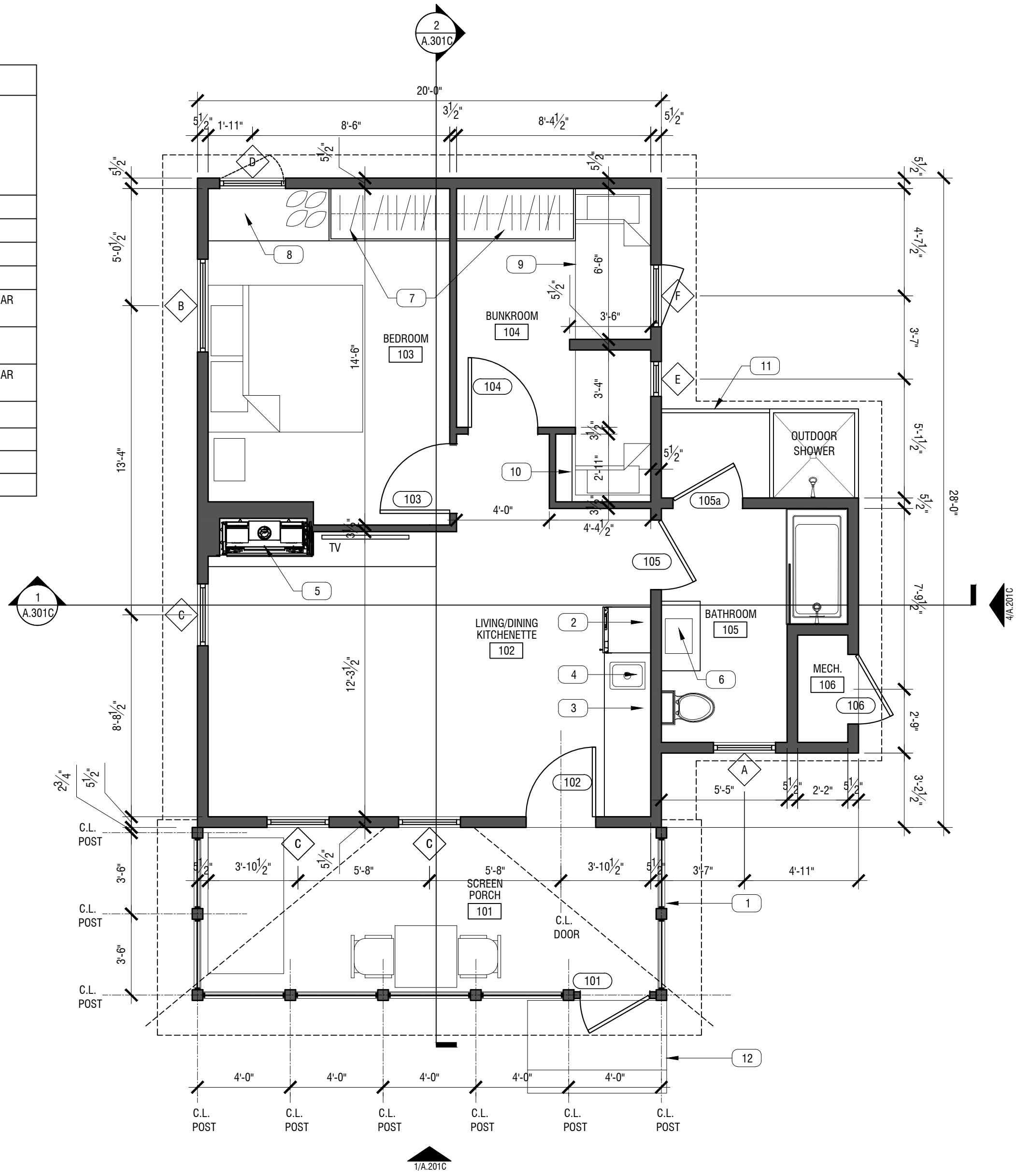
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WINDOW SCHEDULE														
TYPE	QTY.	MANUF.	MODEL	OPERATION	FRAME SIZE			R.O SIZE (WXH) H INCLUDES + ½" FOR SILL PAN		SCREEN	EXTERIOR FINISH	INTERIOR FINISH	HARDWARE	NOTES
					WIDTH	HEIGHT	JAMB	WIDTH	HEIGHT					
A	1	SIERRA PACIFIC	C-HAW-32x32	AWNING	2'-7 ½"	2'-7 ½"	4 ⅞"	2'-8"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
A1	1	SIERRA PACIFIC	C-HAW-32x32	AWNING (FIXED)	2'-7 ½"	2'-7 ½"	4 ⅞"	2'-8"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
B	1	SIERRA PACIFIC	C-HAW-48x32	AWNING	3'-11 ½"	2'-7 ½"	4 ⅞"	4'-0"	2'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
C	3	SIERRA PACIFIC	C-H3DH-32x56	DOUBLE HUNG	2'-7 ½"	4'-7 ½"	4 ⅞"	2'-8"	4'-8 ½"	BETTER VUE	TBD	TBD	TBD	--
D	1	SIERRA PACIFIC	C-H3CS-32x54	CASEMENT	2'-7 ½"	4'-5 ½"	4 ⅞"	2'-8"	4'-6 ½"	BETTER VUE	TBD	TBD	TBD	EGRESS WINDOW (MEETS OR EXCEEDS 5.7 SQ. FT. MIN. CLEAR OPENING PER IBC 1030.2)
E	1	SIERRA PACIFIC	C-H3AW-18x42	AWNING	1'-5 ½"	3'-5 ½"	4 ⅞"	1'-6"	3'-6 ½"	BETTER VUE	TBD	TBD	TBD	--
F	1	SIERRA PACIFIC	C-H3CS-32x42	CASEMENT	2'-7 ½"	3'-5 ½"	4 ⅞"	2'-8"	3'-6 ½"	BETTER VUE	TBD	TBD	TBD	EGRESS WINDOW (MEETS OR EXCEEDS 5.7 SQ. FT. MIN. CLEAR OPENING PER IBC 1030.2)
NOTES:														
1. GENERAL CONTRACTOR SHALL CONFIRM ALL JAMB DEPTH DIMENSIONS PRIOR TO PLACING THE WINDOW ORDER.														
2. ALL GLASS TO BE TEMPERED AS REQUIRED BY CODE.														
4. ALL WINDOWS TO HAVE 7/8" SIMULATED DIVIDED LITES WITH INTERNAL SPACER BAR, TYP.														



2 WINDOW TYPES  
SCALE: 1/4" = 1'-0"



1 COTTAGE 'C' FLOOR PLAN  
SCALE: 1/4" = 1'-0"

DOOR SCHEDULE																
MARK	LOCATION	DESCRIPTION	TYPE	DOOR					HARDWARE MANUFACTURER	HARDWARE FIXTURE	HARDWARE ROSETTE	HARDWARE OPERATION	DOOR STOP	HARDWARE FINISH	RATING	NOTES
				WIDTH	HEIGHT	THICK	MATERIAL	TYPE								
101	SCREEN PORCH	WOODEN SCREEN DOOR COMPANY - HAMPTON	EXTERIOR	3'-0"	6'-8"	-	WOOD/SCREEN	--	--						--	--
102	LIVING/DINING	SIMPSON 37444	EXTERIOR	3'-0"	6'-8"	1 ¾"	WOOD	--	--						--	--
103	BEDROOM	--	INTERIOR	3'-0"	6'-8"	1 ¾"	--	--	--						--	--
104	BEDROOM	--	INTERIOR	3'-0"	6'-8"	1 ¾"	--	--	--						--	--
105	BEDROOM	--	INTERIOR	3'-0"	6'-8"	1 ¾"										
105a	BATHROOM	--	EXTERIOR	3'-0"	6'-8"	1 ¾"										
106	MECHANICAL	--	EXTERIOR	3'-0"	6'-8"	1 ¾"										
NOTES:																
1. GENERAL CONTRACTOR SHALL CONFIRM ALL JAMB DEPTH DIMENSIONS PRIOR TO PLACING THE DOOR ORDER.																
2. ALL GLASS TO BE TEMPERED AS REQUIRED BY CODE.																
3. CONFIRM CLEAR OPENING DIMENSIONS AT ALL EXTERIOR DOORS. VERIFY THEY MEET ANY ADA REQUIREMENTS.																

- LEGEND:
- NEW WALL
  - 123 DOOR TAG, SEE SHEET A.101C FOR DOOR SCHEDULE
  - NO. WINDOW TAG, SEE SHEET A.101C FOR DOOR SCHEDULE

- GENERAL NOTES:
- SEE G.001 FOR SYMBOLS, ABBREVIATIONS AND GENERAL INFORMATION

- KEYED NOTES:
- 1 CUSTOM SCREEN PANELS
  - 2 REFRIGERATOR
  - 3 CUSTOM KITCHENETTE CABINETS
  - 4 KITCHENETTE SINK
  - 5 GAS FIREPLACE
  - 6 BATHROOM VANITY
  - 7 CUSTOM WARDROBE
  - 8 CUSTOM BUILT-IN BENCH
  - 9 CUSTOM BUILT-IN BEDS
  - 10 SHELVES
  - 11 EXTERIOR SHOWER ENCLOSURE
  - 12 6" STONE STEPS

REVISIONS:

DRAWING TITLE:

## A.101C COTTAGE 'C' FLOOR PLAN

DATE OF ISSUE:

APRIL, 15, 2021

ISSUED FOR:

ISSUED FOR PRICING

SCALE:

AS NOTED

PROJECT NAME:

TIDES POOL AND BIKE

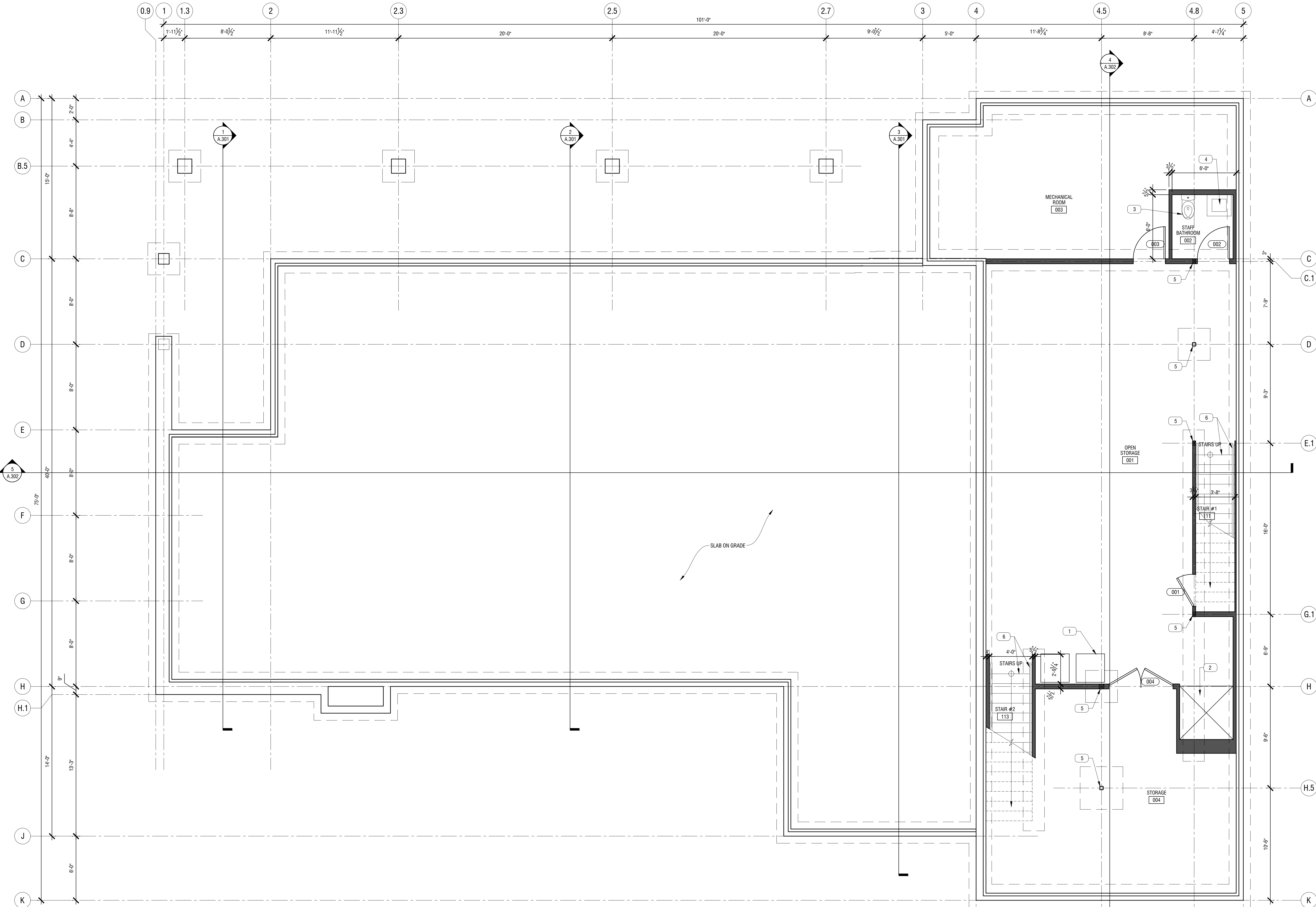
71 DYKE ROAD

KENNEDYPORT, MAINE, 04014

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MADE

ARCHITECTURE • CONSTRUCTION

PROGRESS DRAWINGS  
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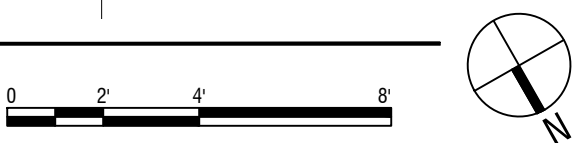


- LEGEND:**
- NEW WALL
  - 123 DOOR TAG, SEE SHEET A.801 FOR DOOR SCHEDULE
  - NO WINDOW TAG, SEE SHEET A.801 FOR DOOR SCHEDULE

- GENERAL NOTES:**
- SEE G.001 FOR SYMBOLS, ABBREVIATIONS AND GENERAL INFORMATION
  - PROVIDE AND COORDINATE ALL REQUIRED IN-WALL BLOCKING AS REQUIRED FOR WORK AT NEW PARTITIONS.
  - ALL NEW WALL PENETRATIONS TO BE FIRE SEALED AS REQUIRED TO MEET UL DESIGNATION FOR ASSEMBLIES PENETRATED.
  - ALL DOOR/STOREFRONT GLAZING TO BE FULLY TEMPERED.
  - ALL ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE ALARM WORK TO BE FILED UNDER A SEPARATE APPLICATION.
  - FURNITURE NOT SHOWN FOR CLARITY.
  - SEE SHEET A.100 FOR ADA FIXTURE DETAILS, ADA DOOR CLEARANCE DETAILS, AND WALL TYPES AS INDICATED ON THIS PLAN.

- KEYED NOTES:**
- 1 WASHER AND DRYER UNIT.
  - 2 CARGO LIFT (INTENDED FOR GOODS, NON PERSON OCCUPANCY). SPECIFICATION TBD.
  - 3 WALL HUNG TOILET. PROVIDE ADA COMPLIANT GRAB BARS WHERE BATHROOM INDICATED AS ADA TOILET.
  - 4 WALL HUNG SINK. ADA COMPLIANT.
  - 5 COLUMN, SEE STRUCTURAL FOR MORE INFORMATION.
  - 6 SEE TYPICAL DETAILS FOR STAIR AND HANDRAIL INFORMATION ON SHEET A.100, TYP.

1 BASEMENT FLOOR PLAN  
SCALE: 1/4" = 1'-0"



ISSUED FOR PERMIT

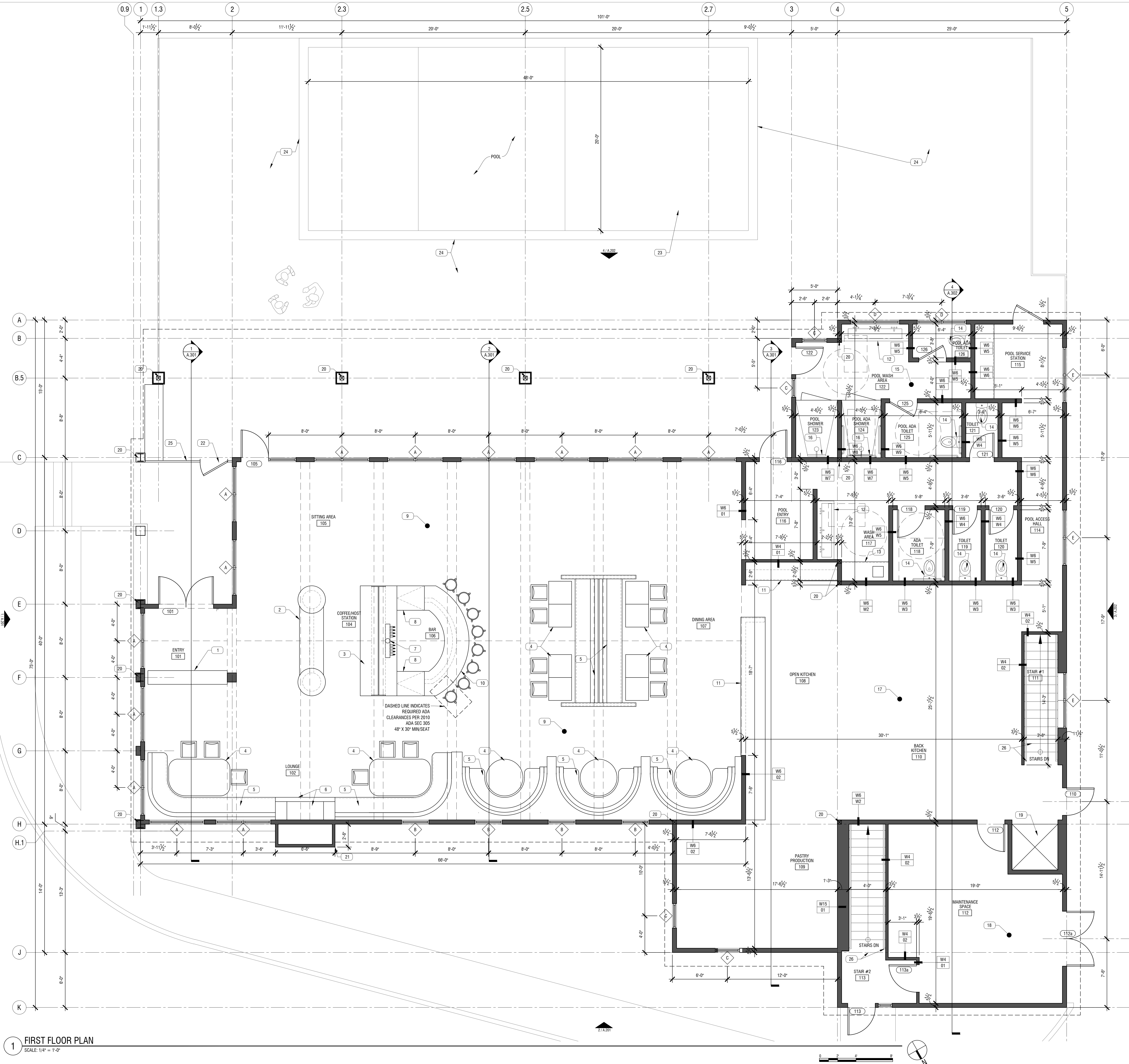
REVISIONS:

DRAWING TITLE:  
**A.101 BASEMENT FLOOR PLAN**

DATE OF ISSUE:  
APRIL 15, 2021  
ISSUED FOR:  
ISSUED FOR PERMIT  
SCALE:  
AS NOTED  
PROJECT NAME:  
TIDES POOL AND BIKE  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04074

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ARCHITECTURE + CONSTRUCTION





- LEGEND:**
- NEW WALL
  - DOOR TAG, SEE SHEET A.801 FOR DOOR SCHEDULE
  - WINDOW TAG, SEE SHEET A.801 FOR DOOR SCHEDULE
- GENERAL NOTES:**
- SEE G.001 FOR SYMBOLS, ABBREVIATIONS AND GENERAL INFORMATION
  - PROVIDE AND COORDINATE ALL REQUIRED IN-WALL BLOCKING AS REQUIRED FOR WORK AT NEW PARTITIONS.
  - ALL NEW WALL PENETRATIONS TO BE FIRE SEALED AS REQUIRED TO MEET UL DESIGNATION FOR ASSEMBLIES PENETRATED
  - ALL DOOR/STOREFRONT GLAZING TO BE FULLY TEMPERED.
  - ALL ELECTRICAL, MECHANICAL, PLUMBING, AND FIRE ALARM WORK TO BE FILED UNDER A SEPARATE APPLICATION.
  - FURNITURE NOT SHOWN FOR CLARITY.
  - SEE SHEET A.100 FOR ADA FIXTURE DETAILS, ADA DOOR CLEARANCE DETAILS, AND WALL TYPES AS INDICATED ON THIS PLAN.
- KEYED NOTES:**
- CUSTOM BUILT-IN MILLWORK SHELVING
  - CUSTOM BUILT CAFE BAR/HOST STAND WITH STONE COUNTERS. 42" HIGH FINISH, 2X6 ENGINEERED WOOD STUD SUPPORT WALL W/ POWDER COATED STEEL COUNTERTOP SUPPORTS. SEE EQUIPMENT PLAN FOR PROPOSED EQUIPMENT AND FIXTURES.
  - CUSTOM BUILT BACK BAR WITH STONE COUNTERS. 42" HIGH FINISH, 2X6 ENGINEERED WOOD STUD SUPPORT WALL W/ POWDER COATED STEEL COUNTERTOP SUPPORTS. SEE EQUIPMENT PLAN FOR PROPOSED EQUIPMENT AND FIXTURES.
  - CUSTOM BUILT WOOD BANQUETTE TABLE, DETAILS TBD
  - CUSTOM BUILT UPHOLSTERED BANQUETTE. SEE INTERIOR ELEVATIONS AND DETAILS.
  - FACTORY BUILT ORTAL ZERO CLEARANCE PROPANE FIREPLACE INSERT. FINISHES INCLUDE
    - STONE SURROUND
    - STONE HEARTH
    - CUSTOM MILLWORK ABOVE FIREPLACE, DETAILS TBD, SEE INTERIOR ELEVATIONS
    - CUSTOM WOOD MANTLE
  - BAR TAP TREE WITH OPEN SHELVING ABOVE.
  - COUNTERTOP FLIP UP, PROVIDE MIN. 32" CLEAR OPENING. SHOWN AS 36".
  - LARGE FORMAT PORCELAIN TILE FLOOR FINISH, SELECTION TBD, SEE FINISH SCHEDULES.
  - CUSTOM BUILT BAR WITH STONE COUNTERS. 42" HIGH FINISH, 2X6 ENGINEERED WOOD STUD SUPPORT WALL W/ POWDER COATED STEEL COUNTERTOP SUPPORTS. SEE EQUIPMENT PLAN FOR PROPOSED EQUIPMENT AND FIXTURES. PROVIDE MIN. 5% ADA ACCESSIBLE SEATING (1 SEAT TOTAL).
  - CUSTOM 42" TALL WORK COUNTER. (2) LAYERS OF 5/8" PLYWOOD COVERED WITH CUSTOM STAINLESS STEEL METAL WRAP. CUSTOM WOOD FINISH BELOW COUNTERTOP, FINISH TBD
  - ADA COMPLIANT TROUGH STYLE LAVATORY.
  - CUSTOM WOOD MILLWORK WITH STONE COUNTER. PROVIDE CUT OUT IN COUNTERTOP FOR TRASH DROP, PROVIDE 3 CUSTOM 1.5" THICK "FLOATING" SHELVES ABOVE.
  - WALL HUNG TOILET. PROVIDE ADA COMPLIANT GRAB BARS WHERE BATHROOM INDICATED AS ADA TOILET.
  - TILE FLOOR FINISH IN POOL WASH, INCLUDING TOILET ROOMS AND SHOWER. SEE FINISH SCHEDULE.
  - POOL SHOWER WITH SHOWER HEAD, TEMPERATURE VALVE, HANDHELD, SCHLUTER LINEAR DRAIN. PROVIDE ADA COMPLIANT GRAB BAR WHERE SHOWER INDICATED AS ADA SHOWER (3 WALLS).
  - TILE FLOOR FINISH THROUGHOUT KITCHEN AND KITCHEN PREP AREA. SELECTION TBD, SEE FINISH SCHEDULE.
  - 2" CONCRETE TOPPING SLAB FLOOR FINISH IN MAINTENANCE, SEE STRUCTURAL FOR MORE INFORMATION.
  - CARGO LIFT (INTENDED FOR GOODS, NON PERSON OCCUPANCY), SPECIFICATION TBD.
  - COLUMN, SEE STRUCTURAL FOR MORE INFORMATION.
  - CHIMNEY ASSEMBLY (EXTERIOR TO INTERIOR)
    - 1x VERTICAL WHITE CEDAR SIDING
    - HORIZONTAL COR-A-VENT STUDI-BATTEN WITH COR-A-VENT SV-5 WITH INSECT SCREEN AT TOP AND BOTTOM OF WALL
    - 1/2" ZIP WALL SHEATHING, TAPE ALL SEAMS
    - 2X4 WOOD FRAMING @ 16" O.C.
  - 3'-0" WIDE WOOD GATE WITH PANIC HARDWARE.
  - 48" x 22" ADA COMPLIANT POOL.
  - POOL DECKING AND COPING, SEE LANDSCAPE PLANS.
  - FENCING ENCLOSING POOL, SEE LANDSCAPE PLANS.
  - SEE TYPICAL DETAILS FOR STAIR AND HANDRAIL INFORMATION ON SHEET A.100, TYP.

DATE OF ISSUE:  
APRIL 15, 2021

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DRAWING TITLE:  
**A.102 FIRST FLOOR PLAN**

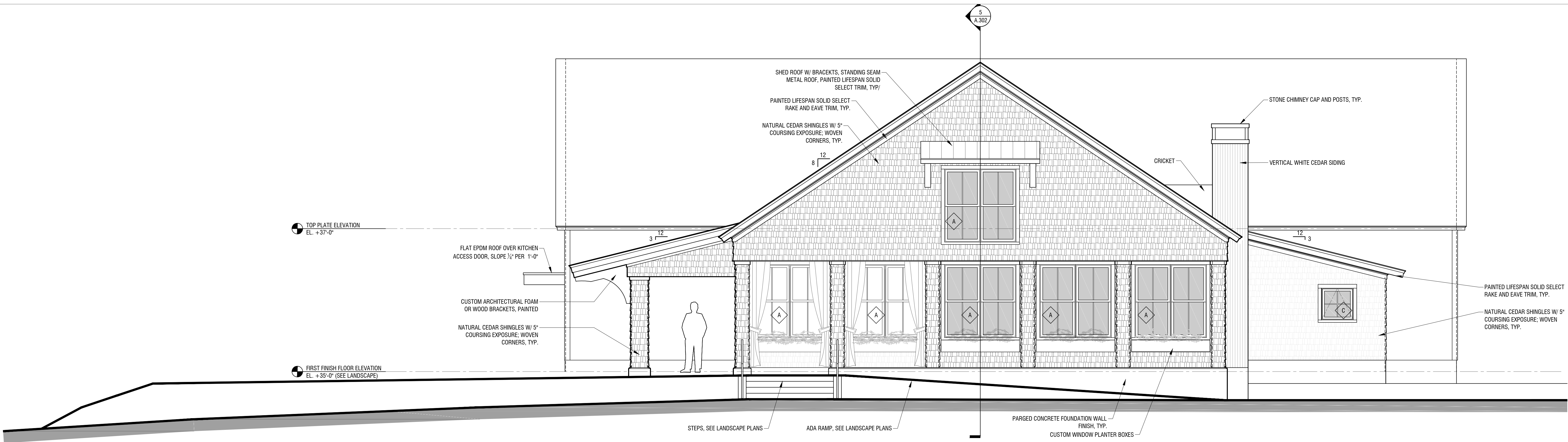
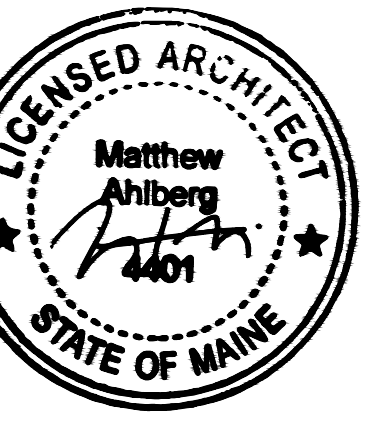
PROJECT NAME:  
TIDES POOL AND BIKE

71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04074

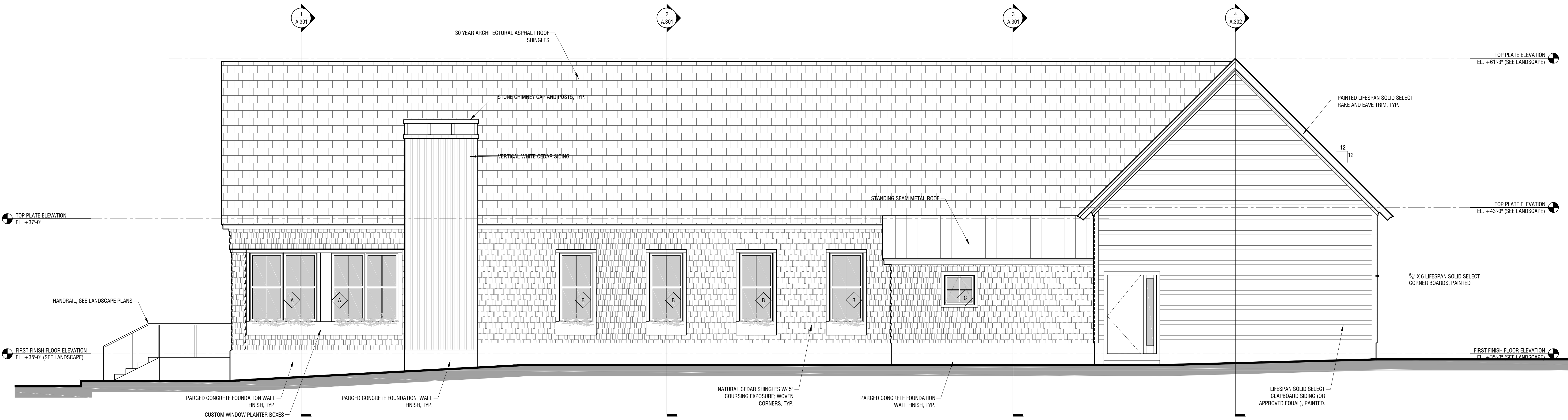
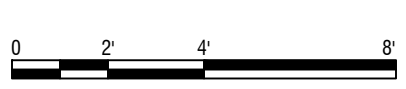
LICENSED ARCHITECT  
Matthew  
Ahlberg  
4401  
STATE OF MAINE

REVISIONS:





1 WEST EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



2 NORTH EXTERIOR ELEVATION  
SCALE: 1/4" = 1'-0"



REVISIONS:

DRAWING TITLE:  
**A.201 EXTERIOR ELEVATIONS**

DATE OF ISSUE:  
APRIL 15, 2021

ISSUED FOR:  
ISSUED FOR PERMIT

SCALE:  
AS NOTED

PROJECT NAME:  
TIDES POOL AND BIKE  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04024



ISSUED FOR PERMIT

## A.202 EXTERIOR ELEVATIONS

**TIDES POOL AND BIKE**  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE, 04014

APRIL 15, 2021

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SCALE:

AS NOTED

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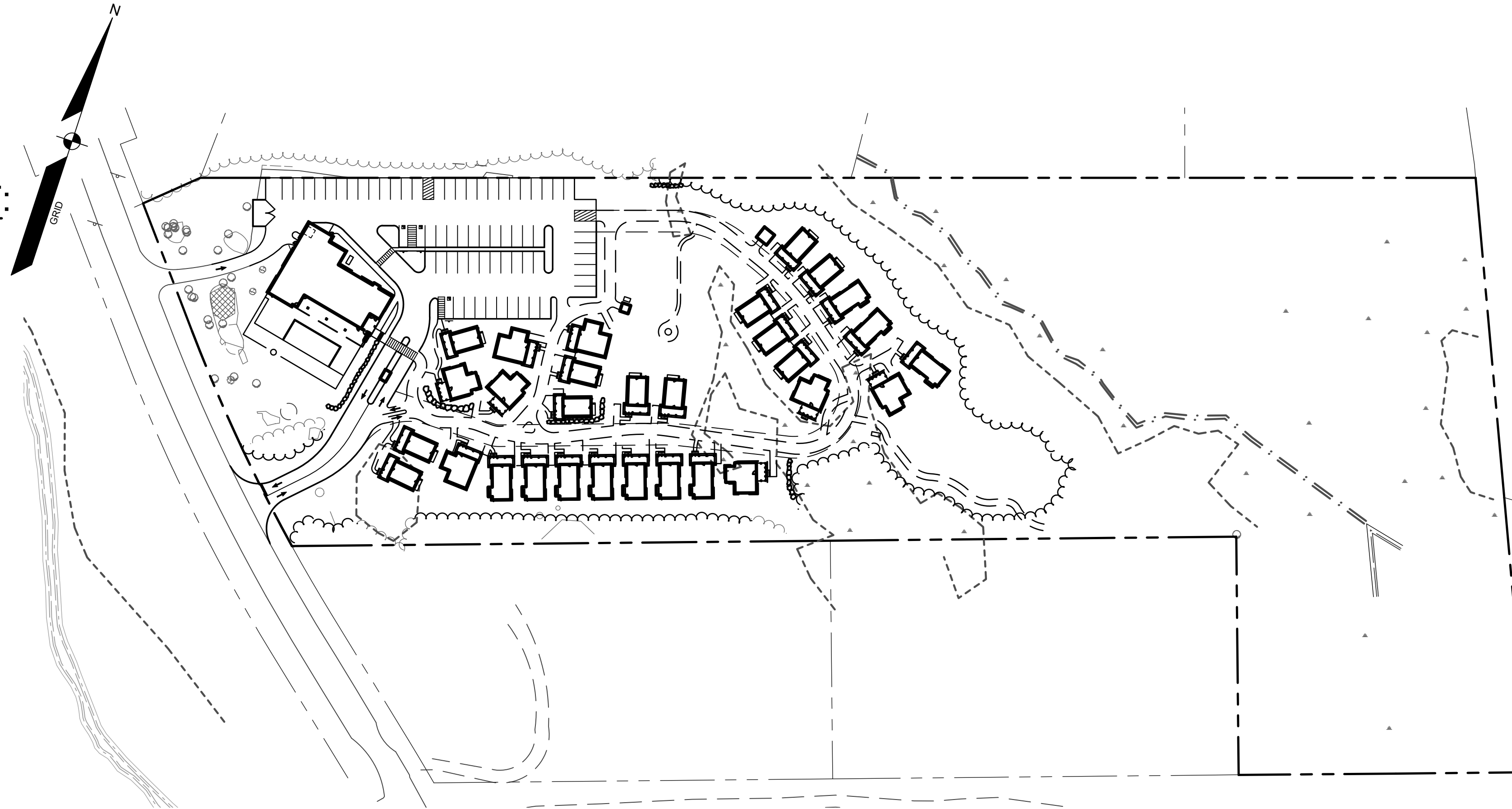
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## **11. Site Plan Set**

71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04046

ENGINEER/SURVEYOR/  
LANDSCAPE ARCHITECT:



A map of the study area. A north arrow is in the top left corner. State Route 9 runs diagonally from the top left towards the bottom right. Dyke Road runs parallel to State Route 9, slightly below it. The 'SITE' is marked with a black dot and a line pointing to it, located between State Route 9 and Dyke Road. To the right of the site, there is a cluster of rectangular shapes representing buildings or structures. Further to the right is the Atlantic Ocean, indicated by a wavy line and the text 'ATLANTIC OCEAN'.

NTS

Sheet Number	Sheet Title
1	COVER SHEET
1 OF 1	EXISTING CONDITIONS PLAN
2	NOTES AND LEGEND
3	DEMOLITION PLAN
4	SITE PLAN
5	GRADING AND DRAINAGE PLAN
6	UTILITY PLAN
7	LANDSCAPE PLAN
8	EROSION CONTROL NOTES AND DETAILS
9	DETAILS
10	DETAILS
11	DETAILS

[illegible]

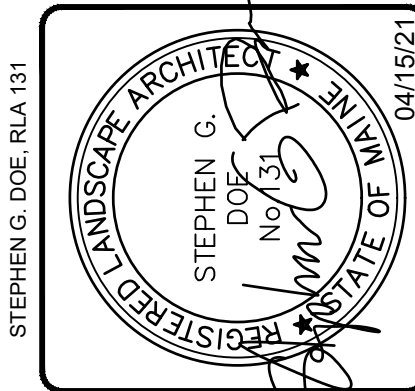
**SEBAGO**  
TECHNICS  
WWW.SEBAGOTECHNICS.COM  
75 John Roberts Rd.  
Suite 4A  
South Portland, ME 04106  
Tel. 207-200-2100

COVER SHEET  
OF:  
OCEAN WOODS RESORT  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04046  
FOR:  
OCEAN WOODS RESORT OWNER, LLC  
21 LITTLEWELL DRIVE, SUITE 203  
KENNEBUNK, MAINE 04043

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	03/19/21
SCALE	1" = 80'
PROJECT	19452

SHEET 1 OF 11

NOT FOR  
CONSTRUCTION



9452 C.dwg, TAB:C



EXISTING		PROPOSED
	PROPERTY LINE/R.O.W.	
	ABUTMENT LINE/R.O.W.	
	DEED LINE/R.O.W.	
	TIE LINE	
	SETBACK	
	EASEMENT	
	BUFFER	
	FLOODPLAIN	
	FLOODWAY	
	CENTERLINE	
	MONUMENT	
	IRON PIPE/ROD	
	DRILL HOLE	
C1/L1	DEED CALL	C1/L1
C1/L1	CURVE/LINE NO.	C1/L1
	SOILS	
	ZONE LINE	
	ZONE LINE ON PL	
	BENCHMARK	
	SURVEY CONTROL	
	TP-1	
	MW-1	
	B-1	
	BUILDING	
	DECK/STEPS/ OVERHANG	
	EDGE WETLAND	
	WETLANDS	
	UPLANDS	
	STREAM	
	LEDGE	
	EDGE PAVEMENT	
	PAVEMENT SAWCUT	
	EDGE CONCRETE	
	PAVEMENT PAINT	
	EDGE GRAVEL	
	CURB LINE	
	EDGE OF WATER	
	TREELINE	
-120      -118	CONTOURS	-120
X 120.00	SPOT GRADE	+120.00
o	CHAIN LINK FENCE	o
x	BARB WIRE FENCE	x
o	STOCKADE FENCE	o
	GUARD RAIL	
	STONE WALL	
	RETAINING WALL	
	DECIDUOUS TREE	
	CONIFEROUS TREE	
	MULCH LINE	
	BOLLARD	
	SIGN	
	RAILROAD	
G	GAS	G
	GAS GATE VALVE	
	GAS METER	
G	GAS MANHOLE	G
W	WATER	W
	WATER GATE VALVE	
	WATER SHUT OFF	
	HYDRANT	
	WATER MANHOLE	
	WELL	
S	SANITARY SEWER	S
FM	FORCE MAIN	FM
S	SANITARY MANHOLE	S
SD	STORM DRAIN	SD
UD	UNDER DRAIN	UD
D	DRAINAGE MANHOLE	D
	CATCH BASIN	
OHU	OVERHEAD UTILITY	OHU
UGU	UNDERGROUND UTILITY	UGU
T	TRANSFORMER PAD	T
E	ELECTRICAL MANHOLE	E
	ELECTRIC METER	
H	HVAC UNIT	
T	TELEPHONE MANHOLE	
	LIGHT POLE	
	UTILITY POLE	
	GUY WIRE	
	DRAINAGE DITCH	
	EROSION CONTROL BLANKET	
	FILTER BARRIER	
	RIPPRAP	
	CHECK DAM	
	INLET PROTECTION	
	BOULDER	
	STREAM	

THE RECORD OWNER OF THE PARCEL IS OWRI, LLC, 71 DYKE ROAD, KENNEBUNKPORT, MAINE 04046, BY DEED DATED MARCH 9, 2007 AND RECORDED AT THE YORK COUNTY REGISTRY OF DEEDS YCRD IN BOOK 15013, PAGE 452 AND 15103 PAGE 454.

2. THE PROPERTY IS SHOWN AS LOT 5-2 ON THE TOWN OF KENNEBUNKPORT TAX MAP #37 AND IS LOCATED IN THE GOOSE ROCKS DISTRICT (GR), SHORELAND ZONE (SL), AND RESOURCE PROTECTION (RP) - FRESHWATER & COASTAL WETLANDS OVER 10 ACRES.

3. SPACE AND BULK CRITERIA FOR THE GOOSE ROCKS DISTRICT (GR) ARE AS FOLLOWS:  
NET RESIDENTIAL DENSITY: 40,000 S.F.  
MINIMUM LOT SIZE: 40,000 S.F.  
MINIMUM STREET FRONTAGE: 100 FEET  
MINIMUM FRONT YARD: 20 FEET  
MINIMUM SIDE YARD: 15 FEET  
MINIMUM REAR YARD: 15 FEET  
MAXIMUM BUILDING HEIGHT: 30 FEET  
MAXIMUM BUILDINGS COVERAGE: 20%  
\* SEE ORDINANCE FOR MORE PARTICULAR INFORMATION.

4. TOTAL AREA OF PARCEL IS APPROXIMATELY 10.41 ACRES.

5. BOUNDARY INFORMATION SHOWN HEREON IS BASED UPON FIELD WORK PERFORMED BY SEBAGO TECHINCS, INC. IN JANUARY OF 2020 WITH SNOW COVER.

6. PLAN REFERENCES:  
A. "BOUNDARY SURVEY AND LOT DIVISION OF LAND OWNED BY CORNELIUS C. LAMEY" DATED DECEMBER 12, 2016, PERFORMED BY SEBAGO TECHINCS, INC. AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 386, PAGE 30.  
B. "SITE, BUILDING, & UNIT LOCATION PLAN THE INN AT GOOSE ROCKS CONDOMINIUM KENNEBUNKPORT, MAINE" DATED DECEMBER 22, 1986, SURVEYED BY DOW & COULOMBIE, INC. AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN CONDO PLAN BOOK 261 PAGE 1.  
C. "PHILLIPS ROAD SITE PLAN" DATED NOVEMBER 11, 2002, DRAWN BY PINKHAM AND GREER  
D. "CONSULING ENGINEERS, INC. AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 281, PAGE 24.  
D. "1991 REVISION OF FINAL PLAN OF HOLLY HEATHER ESTATES" DATED MARCH, 1991, PERFORMED BY ECCO ENGINEERING AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 48.  
E. "PLAN SHOWING A STANDARD BOUNDARY SURVEY MADE FOR GEORGE H. EMMONS OF LAND KNOWN AS "THE CLOCK FARM" DATED AUGUST 7, 1995, PERFORMED BY DOW & COULOMBIE AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 264, PAGE 45.  
F. "AMENDED SUBDIVISION PLAN JENISON OAKS, KENNEBUNKPORT, MAINE" DATED DECEMBER 21, 2005, PERFORMED BY PINKHAM & GREER AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 309, PAGE 43.  
G. "DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAP" D.O.T. FILE NO. 5-16-391 DATED DECEMBER 19, 1981.  
H. "SITE PLAN OF THE INN AT GOOSE ROCKS BY DUBOIS & KING (PROJECT #47002), DATED FEBRUARY 1985.  
I. 1. "PHILLIPS ROAD SITE PLAN, 55 DYKE ROAD, KENNEBUNKPORT, MAINE" LAST DATED APRIL 14, 2003, BY PINKHAM & GREER. AND RECORDED IN THE YORK COUNTY REGISTRY OF DEEDS IN PLAN BOOK 281, PAGE 24.

7. ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.

8. CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCORDING TO ADJACENT PROPERTY TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.

9. CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.

10. PROVIDE ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.

11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.

12. CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC, STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.

13. CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.

14. SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.

15. THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (811) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.

16. CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. DIG SAFE IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USGS PUBLIC WORKS SYSTEMS.

17. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.

18. ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.

19. ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.

20. NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.

21. IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.

22. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS MUCH OF THE WORK AS THE OWNER FINDS TO BE DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.

23. ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED IN THE DRAWINGS.

24. WHERE THE TERMS "APPROVED EQUIVAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGEMENT OF SEBAGO TECHINCS, INC.

25. THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.

26. THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.

27. THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.

28. DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.

29. BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HISHER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.

30. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING FLOW THROUGH THE EXISTING CLOSED STORM DRAINAGE SYSTEM DURING CONSTRUCTION AND SHALL SUBMIT A WORK PLAN FOR APPROVAL BY THE DESIGN ENGINEER.

1. PROTECT EXISTING BOUNDARY LINE MONUMENTATION IF DISTURBED. EXISTING MONUMENTATION TO BE RESET BY A PROFESSIONAL LAND SURVEYOR.
2. DEMOLITION OF UTILITIES REQUIRING TREE REMOVAL SHALL BE COORDINATED WITH THE OWNER AND IN ACCORDANCE WITH PROJECT PLANS.
3. UTILITY DEMOLITION SHALL BE COMPLETED IN COORDINATION WITH NEW INFRASTRUCTURE. CONTRACTOR SHALL ENSURE EXISTING SURFACE DRAINAGE IS MAINTAINED DURING CONSTRUCTION.
4. PROTECT EXISTING UTILITIES NOT CALLED OUT TO BE REMOVED DURING CONSTRUCTION.
5. DEMOLITION SHOWN IS FOR MAJOR SITE ELEMENTS TO BE DEMOLISHED. OTHER MINOR DEMOLITION MAY BE REQUIRED AS PART OF CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE COST OF CONSTRUCTION. COORDINATE ALL DEMOLITION WORK WITH SITE AND BUILDING DRAWINGS.
6. PRIOR TO ANY DEMOLITION, THE CONTRACTOR SHALL SUBMIT A SEQUENCE OF DEMOLITION PLANS TO THE OWNER. THIS PLAN SHALL DEPICT LOCATIONS OF PROPOSED TERMINATIONS AND ANY TEMPORARY SERVICES THAT WILL BE NEEDED.
8. CONTRACTOR REQUIRED TO CONFIRM/MAINTAIN BENCHMARKS. IF IMPACTED CONTRACTOR IS RESPONSIBLE FOR NOTIFICATION/RELOCATION AND COORDINATION WITH PROJECT TEAM.

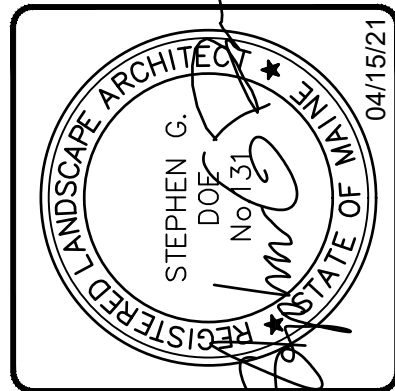
1. SIDESLOPES SHALL NOT BE STEEPER THAN 3:1 (H:V) EXCEPT AS OTHERWISE IDENTIFIED ON THIS PLAN. ALL SIDESLOPES STEEPER THAN 3:1 (H:V) SHALL BE LINED WITH EROSION CONTROL BLANKET, OR ADDITIONAL MEASURES AS INDICATED.
2. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAJOR EROSION AND SEDIMENT CONTROL BMPs" MANUAL, PUBLISHED BY BUREAU OF LAND AND WATER, U.S. DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
3. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE LOAM AND SEED PER DETAIL.
4. SEE UTILITY DRAWINGS FOR PIPE AND STRUCTURE DATA TABLES.

2. PROVIDE EROSION CONTROL MEASURES PRIOR TO SITE DISTURBANCE.
3. 1. WETLANDS, ASSOCIATED SETBACKS AND STREAM SETBACKS TO BE STAKED BY OWNER PRIOR TO SITE DISTURBANCE.
3. BEFORE TREE CLEARING, REFER TO PLANS FOR WOODED BUFFER AREAS. TREES SHALL NOT BE CLEARED WITHIN DESIGNATED WOODED BUFFER AREAS.
4. GRADING AND CLEARING LIMITS SHALL NOT ENCHROACH ON ADJACENT PROPERTIES UNLESS NOTED OTHERWISE ON THE PLANS.
5. OPEN AREAS SHALL BE LIMITED TO AREAS BEING WORKED IN. THE AREA STRIPPED OF EXISTING VEGETATION AT ANY GIVEN TIME SHALL BE MINIMIZED AND BE PHASED WHERE PRACTICAL. SO THAT AREAS ARE REVEGETATED AND PERMANENTLY STABILIZED BEFORE ADDITIONAL AREAS ARE STRIPPED OF EXISTING VEGETATION. CONSTRUCTION BY USE OF RIPRAP, SEED, MULCH, OR OTHER GRASS COVER WITHIN ONE WEEK FROM THE TIME IT WAS ACTIVELY WORKED. SURFACES SHALL BE STABILIZED PRIOR TO EXERCISING STORMWATER RUNOFF TOWARD STORMWATER BMPs. PLEASE REFER TO DRAINAGE PLANS FOR WATERSHED AREAS.

1. UTILITY INFORMATION DEPICTED HEREON IS COMPILED USING PHYSICAL EVIDENCE LOCATED IN THE FIELD. UTILITIES DEPICTED HEREON MAY NOT NECESSARILY REPRESENT ALL EXISTING UTILITIES. CONTRACTORS AND/OR DESIGNERS NEED TO CONTACT DIG-SAFE SYSTEMS, INC. (1-888-DIG-SAFE) AND FIELD VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION AND/OR EXCAVATION. PROTECT EXISTING ONSITE SEWER PIPE AND ADJUST MANHOLE RIMS TO GRADE WHERE APPLICABLE.
2. ALL GRAVITY CONDUIT PIPES SHALL BE INSTALLED USING A PIPE LASER AND TARGET SYSTEM. THE PIPE ON PIPE RUNS 50 FEET OR LESS, THE CONTRACTOR SHALL REQUEST ENGINEER'S APPROVAL TO USE OR NOT USE A GROUND LASER.
3. MAINTAIN MINIMUM 10 FEET HORIZONTAL SEPARATION BETWEEN WATER SERVICES AND OTHER UTILITIES. MAINTAIN MINIMUM 18 INCHES VERTICAL SEPARATION BETWEEN WATER SERVICES AND OTHER UTILITIES.
4. LOWER OR RAISE WATER SERVICES AS REQUIRED TO MAINTAIN MINIMUM 12 INCH VERTICAL SEPARATION FROM OTHER UTILITIES. WATER SERVICES CROSSING SERVICES SHALL BE PROVIDE 12 INCH MINIMUM SEPARATION BETWEEN THE BOTTOM OF WATER LINE AND TOP OF SEWER UNLESS NOTED OTHERWISE ON THE PLANS.
5. PIPE:
  - SEWER PIPE SHALL BE SDR 35 PVC OR APPROVED EQUAL.
  - FORCEMAIN PIPE SHALL BE DR-11 HDPE OR APPROVED EQUAL.
  - STORMDRAIN PIPE SHALL BE ADS N-12 DUAL WALL HDPE PIPE WITH SMOOTH-WALLED INTERIOR OR APPROVED EQUAL UNLESS NOTED OTHERWISE ON THE UTILITY PLANS.
  - WATER PIPE AND FITTINGS SHALL CONFORM TO PORTLAND WATER DISTRICT WATER PIPING SPECIFICATIONS. MAIN WATER SERVICE PIPE SHALL BE DUCTILE IRON, CLASS 52 PUSH-ON PIPE MEETING THE REQUIREMENTS OF AWWA/C111/A21.1 (LATEST REVISION). PIPE SHALL BE CEMENT-LINER AWWA/C104/A21.4 WITH LINING TWICE THE THICKNESS SPECIFIED, AND COATED TWICE WITH A BITUMINOUS SEAL COATING. PROVIDE THRUST BLOCKS AT ALL WATER SERVICE BENDS.
7. COORDINATE FOUNDATION UNDERDRAIN LOCATIONS WITH ARCHITECTURAL AND STRUCTURAL DRAWINGS.
8. COORDINATE GREASE INTERCEPTOR LOCATIONS WITH ARCHITECTURAL & PLUMBING DRAWINGS.
9. COORDINATE UTILITY INVERTS AT BUILDING WITH ARCHITECTURAL, STRUCTURAL AND PLUMBING DRAWINGS.
10. COORDINATE LOCATION OF SEWER, WATER, GAS, FOUNDATION DRAINS AND ROOF DRAIN INVERTS AT THE BUILDING WITH ARCHITECTURAL DRAWINGS.
11. WATER SERVICE ENTRANCE DESIGNS TO INCLUDE METERS AND BACKFLOW PREVENTERS TO MEET ALL STANDARDS AND REQUIREMENTS OF THE KENNEBUNK, KENNEBUNKPORT, AND WELLS WATER DISTRICT.
12. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY GRADE CHANGES THAT WILL IMPACT STORM DRAINAGE INFRASTRUCTURE OR OTHER UTILITIES.
13. UTILITIES WITHIN 5 FEET FROM FACE OF BUILDING ARE COORDINATED ON RELEVANT M.E.P. DRAWINGS. CONTRACTOR SHALL COORDINATE INVERTS, CONNECTIONS AND MATERIALS WITH ALL DRAWINGS.
14. PROVIDE AN OIL BOOM IN EVERY CATCH BASIN WITH A PAVED AREA.
15. CONTRACTOR SHALL FURNISH AND INSTALL TRENCHING, MATERIALS AND BACKFILL FOR ALL UTILITIES. ELECTRICAL AND TELECOM/DATA TRENCHING WILL PULL PRIMARY SERVICE TO TRANSFORMER AND PANEL. CONTRACTOR RESPONSIBLE FOR TIMING AND COORDINATION WITH UTILITIES AND DRAWINGS. COORDINATE WITH ELECTRICAL DRAWINGS FOR CONDUIT SCHEDULE, TYPE AND SIZES.
16. COORDINATE ALL WATER RELATED WORK WITH KENNEBUNK, KENNEBUNKPORT, AND WELLS WATER DISTRICT.

SHEET 2 OF 11

STEPHEN G. DOE, RLA 131

[illegible]

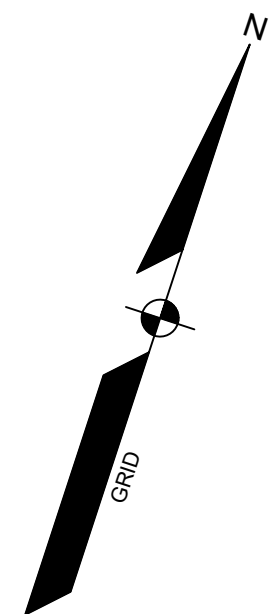
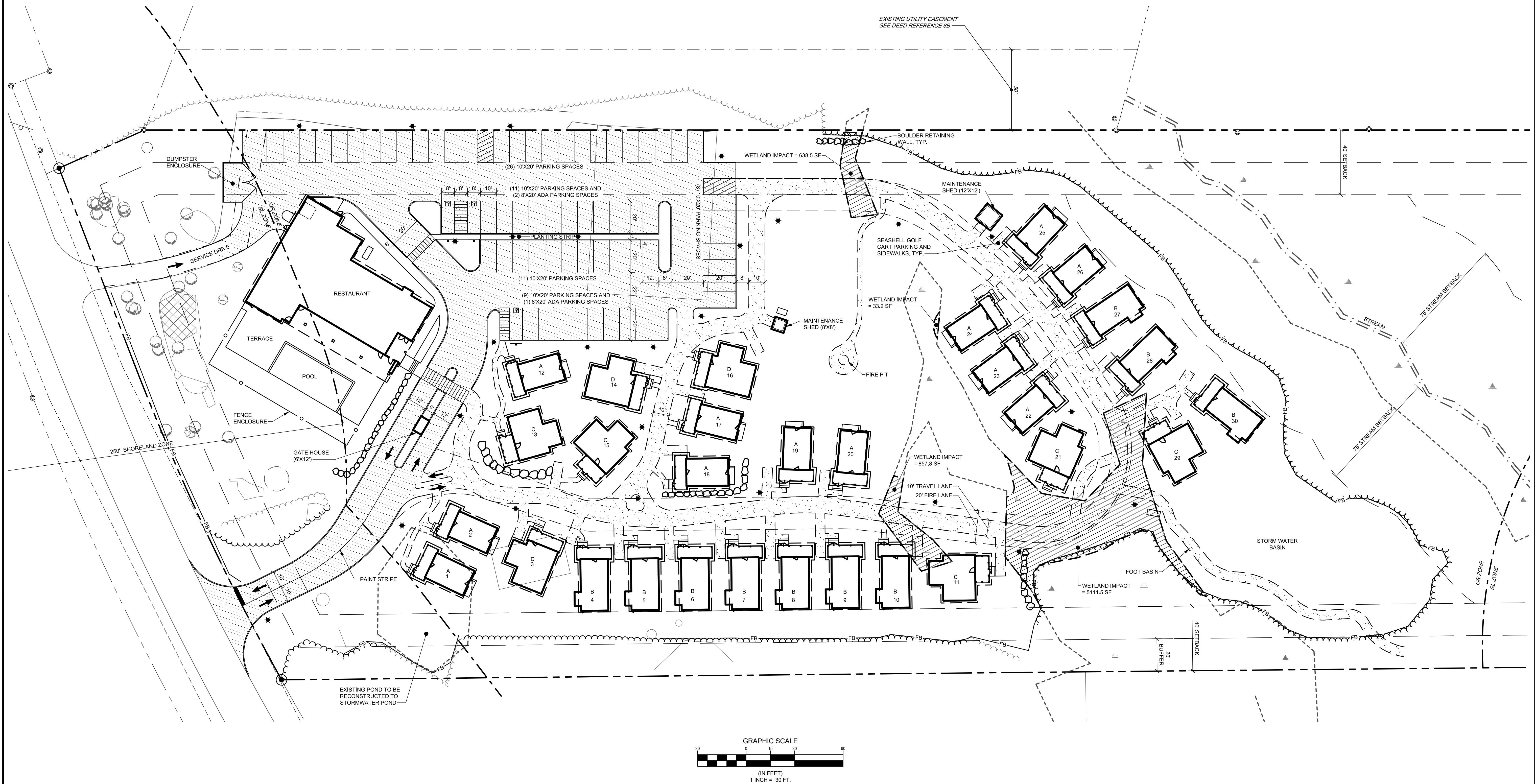




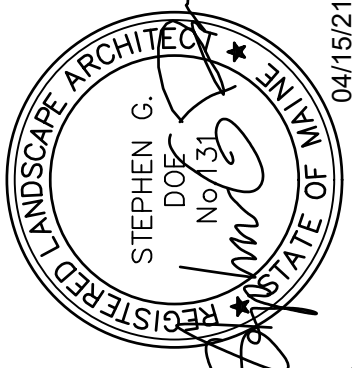


1. BUILDING FOOTPRINT SCHEDULE	
APPROXIMATE EXISTING BUILDING(S) SQ. FT.:	30,961 SQ. FT.
PROPOSED LODGE SQ. FT. (FIRST FLOOR AND BASEMENT):	8,500 SQ. FT.
COTTAGE 'A' (12 TOTAL @ 643 SQ. FT. EA.):	7,716 SQ. FT.
COTTAGE 'B' (10 TOTAL @ 735 SQ. FT. EA.):	7,350 SQ. FT.
COTTAGE 'C' (3 TOTAL @ 758 SQ. FT. EA.):	2,825 SQ. FT.
COTTAGE 'D' (5 TOTAL @ 825 SQ. FT. EA.):	4,125 SQ. FT.
MAINTENANCE BUILDINGS (2 TOTAL @ 100 SQ. FT. EA.):	208 SQ. FT.
TOTAL PROPOSED BUILDING(S) SQ. FT.:	30,524 SQ. FT.
APPROXIMATE ALLOWABLE NEW BUILDING SQ. FT.:	30,961 SQ. FT.
REMAINING PROPOSED BUILDING SQ. FT.:	437 SQ. FT.

- |    |                                                           |                                   |
|----|-----------------------------------------------------------|-----------------------------------|
| 2. | PARKING SUMMARY                                           |                                   |
|    | RESTAURANT 88 SEATS (1 SPACE/6 SEATS) =                   | 30 SPACES* (12 SPACES)            |
|    | SLEEPING ROOMS 48 BEDS @ 1 SPACE/2 EMPLOYEES) =           | 48 SPACES                         |
|    | 16 EMPLOYEES (1 SPACE/2 EMPLOYEES) =                      | 8 SPACES                          |
|    | TOTAL REQUIRED                                            | 68 SPACES                         |
|    | TOTAL PROPOSED                                            | 68 SPACES                         |
|    | * ESTIMATED 60% OF RESTAURANT USERS WILL BE RESORT GUESTS |                                   |
| 3. | LOT COVERAGE                                              |                                   |
|    | A. OVERALL LOT COVERAGE                                   |                                   |
|    | EXISTING =                                                | 42,054.7 SQ. FT./0.96 ACRES       |
|    | PROPOSED =                                                | 86,576.1 SQ. FT./1.98 ACRES (19%) |
|    | B. SHORE LAND ZONE LOT COVERAGE                           |                                   |
|    | LAND AREA IN SHORE LAND ZONE =                            | 38,388.3 SQ. FT.                  |
|    | IMPERVIOUS AREA IN SZ =                                   | 7,463.6 SQ. FT. (19.4%)           |
| 4. | TOTAL WETLAND IMPACTS =                                   |                                   |
|    |                                                           | 6.641 SQ. FT.                     |



STEPHEN G. DOE, RLA 131



THIS PLAN SHALL NOT BE MODIFIED WITHOUT WRITTEN PERMISSION FROM SEBAGO TECHINCS, INC. ANY ALTERATIONS, AUTHORIZED OR OTHERWISE, SHALL BE AT THE USER'S SOLE RISK AND WITHOUT LIABILITY TO SEBAGO TECHINCS, INC.

**SEBAGO**  
TECHNICS  
WWW.SEBAGOTECHNICS.COM

SITE PLAN  
OF:  
OCEAN WOODS RESORT  
71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04046  
FOR:  
OCEAN WOODS RESORT OWNER, LLC  
2 LIVEWELL DRIVE, SUITE 203  
KENNEBUNK, MAINE 04043

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	03/19/21
SCALE	1" = 30'
PROJECT	19452

SHEET 4 OF 11

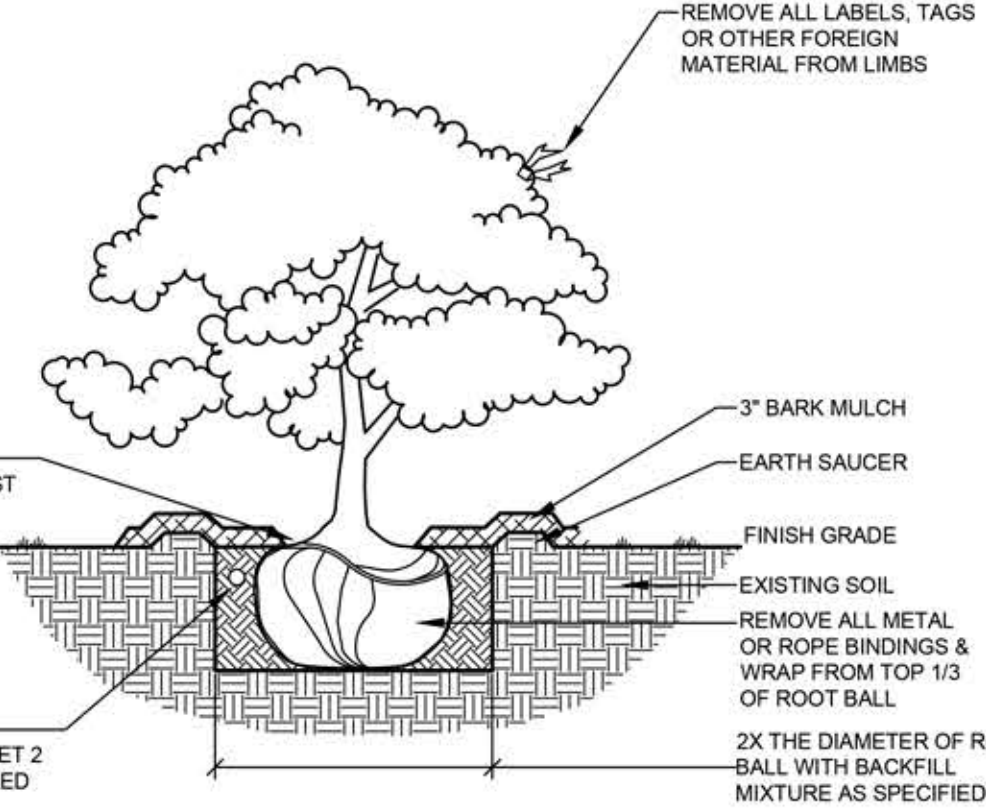
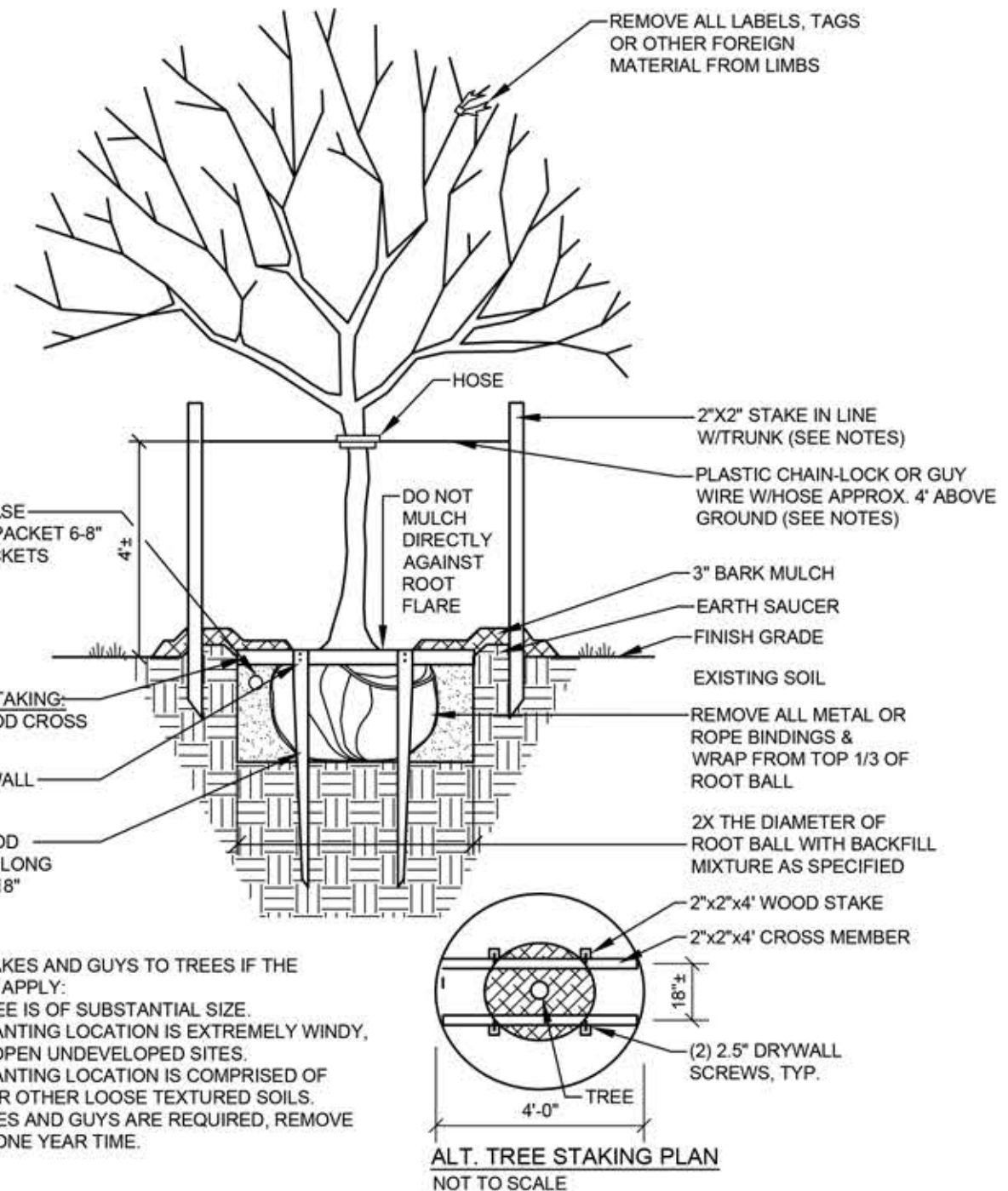












LANDSCAPE NOTES

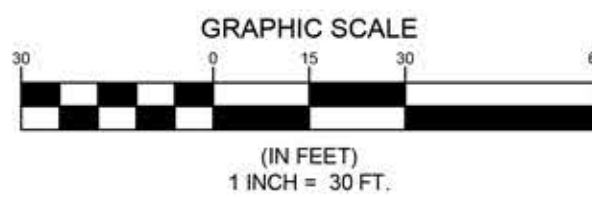
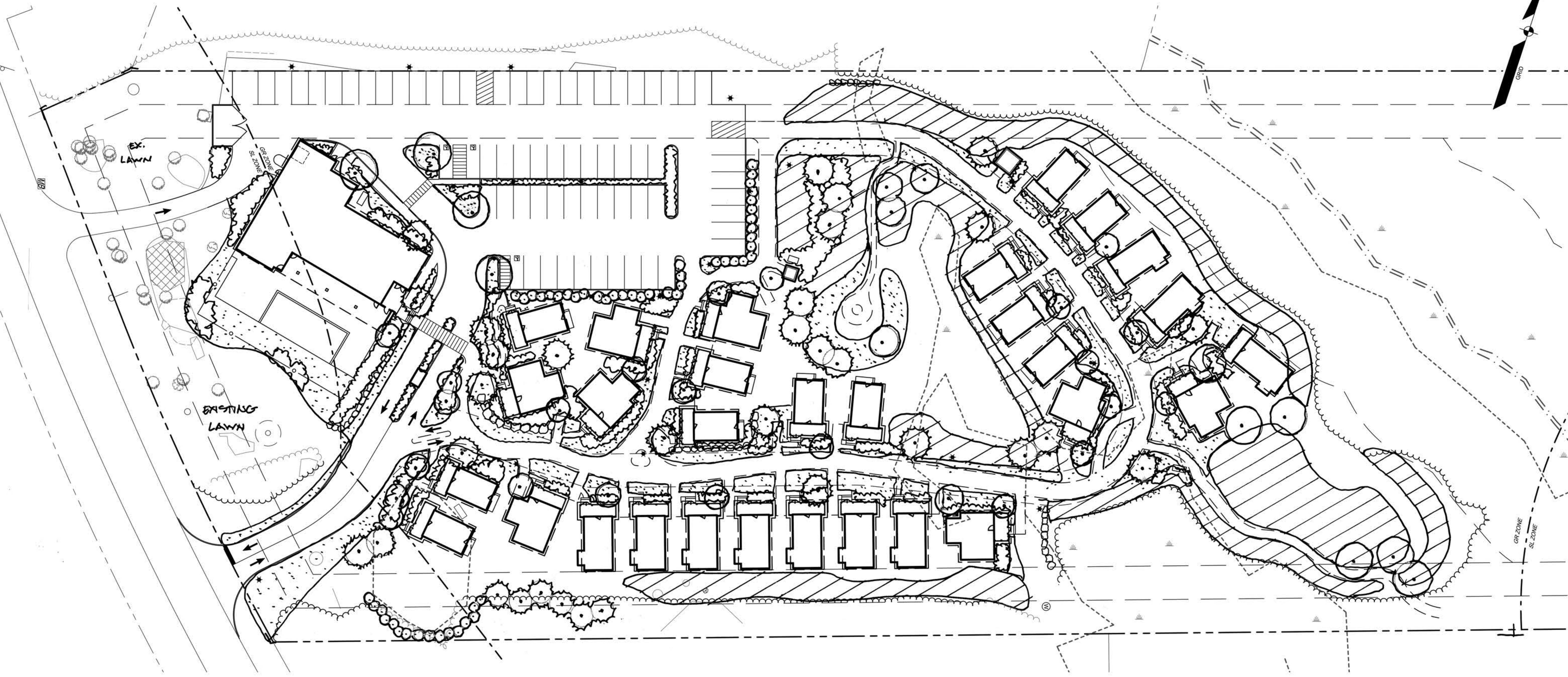
1. PLANT QUANTITIES SHOWN ON PLANS ARE FOR CONVENIENCE TO THE CONTRACTOR ONLY. THE CONTRACTOR IS RESPONSIBLE FOR ALL PLANT MATERIAL INSTALLATION AS SHOWN ON PLANS.
2. SIZE AND GRADING STANDARDS OF PLANT MATERIALS SHALL CONFORM TO THE LATEST EDITION OF "U.S.A. STANDARD FOR NURSERY STOCK," BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
3. ALL PLANT MATERIAL SHALL BE FREE FROM INSECTS AND DISEASE.
4. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH ACCEPTABLE HORTICULTURAL PRACTICES. THIS IS TO INCLUDE PROPER PLANTING MIX, PLANT BED AND TREE PIT PREPARATION, PRUNING, STAKING OR GUYING, WRAPPING, SPRAYING, FERTILIZATION, PLANTING AND ADEQUATE MAINTENANCE UNTIL ACCEPTANCE BY THE OWNER.
5. PLANT MATERIAL SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR BY THE CONTRACTOR AND A PERIOD OF TWO YEARS THEREAFTER BY THE OWNER FROM DATE OF INSTALLATION. DURING THE ONE YEAR GUARANTEE PERIOD, DEAD PLANT MATERIAL SHALL BE REPLACED AT NO COST TO THE OWNER. AT THE END OF THE ONE YEAR PERIOD, THE CONTRACTOR SHALL OBTAIN FINAL ACCEPTANCE FROM THE OWNER.
6. ALL GRASS, OTHER VEGETATION AND DEBRIS SHALL BE REMOVED FROM ALL PLANTING AREAS PRIOR TO PLANTING.
7. EXISTING TREES TO BE PRESERVED WILL BE PROTECTED DURING CONSTRUCTION AND SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
8. THE LANDSCAPE CONTRACTOR IS ADVISED OF THE PRESENCE OF THE UNDERGROUND UTILITIES AND SHALL VERIFY THE EXISTENCE AND LOCATION OF SAME BEFORE COMMENCING AND DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR SHALL REPLACE OR REPAIR UTILITIES PAVING, WALKS, CURBING, ETC. DAMAGED IN PERFORMANCE OF THIS JOB AT NO ADDITIONAL COST TO THE OWNER.
9. ALL SHRUB BEDS SHALL BE MULCHED WITH 3" CLEAN SHREDDED DARK BROWN BARK MULCH.
10. THE CONTRACTOR SHALL PROVIDE 4" LOAM FOR ALL AREAS TO BE SODDED OR SEEDED. PLANTING AREAS SHALL RECEIVE 12" ROLLED THICKNESS OF LOAM. THE LANDSCAPE CONTRACTOR SHALL COORDINATE SUBGRADE PREPARATION WITH THE GENERAL CONTRACTOR PRIOR TO PLACING LOAM.
11. ANY DEVIATION FROM THE LANDSCAPE PLAN, INCLUDING PLANT LOCATION, SELECTION, SIZE, QUANTITY OR CONDITION SHALL BE REVIEWED AND APPROVED BY THE OWNER AND LANDSCAPE ARCHITECT (AND MUNICIPAL AUTHORITY, IF APPLICABLE) PRIOR TO INSTALLATION ON SITE.
12. WHERE INDICATED ON PLAN, PLANTING SOIL MIXTURE FOR PERENNIAL AND ANNUAL FLOWER BED AREAS SHALL CONSIST OF FOUR PARTS TOPSOIL, TWO PARTS SPHAGNUM PEAT MOSS, AND ONE PART HORTICULTURAL PERLITE BY VOLUME. PEAT MOSS MAY BE SUBSTITUTED WITH WELL-ROTTED OR DEHYDRATED MANURE OR COMPOST. ROTOTILL BEDS TO A DEPTH OF 8 INCHES.

LEGEND:

- KEY PLANT
- RIVER BIRCH 12-15' HGT CLUMP
  - PITCH PINE 7'-8'
  - SERVICE BERRY 10-12' HGT CLUMP
  - GREEN GIANT ARBORVITAE 6-7' HGT
  - MIX. PEC. I.E. BAYBERRY, BLUEBERRY, VIR. ROSE, CLETHRA
  - CONSERVATION SEED MIX W/ SWEET FERN
  - AMERICAN DUNE GRASS
  - AREAS LEFT TO NATURIZE W/ SWEET FERN ETC..
  - STUMP GRINDINGS

DECIDUOUS TREES  
NOT TO SCALE

DECIDUOUS & EVERGREEN SHRUB  
NOT TO SCALE



NOT FOR CONSTRUCTION

STEPHEN G. DOE, RLA 131

LANDSCAPE ARCHITECT

STEPHEN G. DOE, RLA 131

REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT

STATE OF MAINE

REV.	BY	DATE	STATUS	ISSUED FOR PLANNING BOARD REVIEW
A	ISGD	04/15/21	STATUS	

SEBAGO TECHNICS

WWW.SEBAGOTECHNICS.COM

75 John Roberts Rd.  
Suite 4A  
South Portland, ME 04106  
Tel. 207-200-2100

LANDSCAPE PLAN

OF: OCEAN WOODS RESORT

71 DYKE ROAD  
KENNEBUNKPORT, MAINE 04046

FOR: OCEAN WOODS RESORT OWNER, LLC

2 LIVEWELL DRIVE, SUITE 203  
KENNEBUNK, MAINE 04043

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	03/19/21
SCALE	1" = 30'
PROJECT	19452

SHEET 7 OF 11

19452 LS.dwg, TAB 15



## EROSION CONTROL MEASURES

### PRE-CONSTRUCTION PHASE

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS (SILT FENCE) WILL BE STAKED/INSTALLED ACROSS THE SLOPE(S), ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. THE PLACEMENT OF SEDIMENT BARRIERS SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THIS EROSION CONTROL PLAN AND DETAILS IN THIS PLAN SET. THIS NETWORK IS TO BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED WITHIN 30 DAYS AFTER PERMANENT STABILIZATION IS ATTAINED.

PRIOR TO ANY CLEARING OR GRUBBING, A CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED AT THE INTERSECTION OF THE PROPOSED ENTRANCES AND EXISTING ROADWAY TO AVOID TRACKING OF MUD, DUST AND DEBRIS FROM THE SITE.

PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL PREPARE A DETAILED SCHEDULE AND MARKED UP PLAN INDICATING AREAS AND COMPONENTS OF THE WORK AND KEY DATES SHOWING DATE OF DISTURBANCE AND COMPLETION OF THE WORK. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE MUNICIPAL STAFF. THREE COPIES OF THE SCHEDULE AND MARKED UP PLAN SHALL BE PROVIDED TO THE MUNICIPALITY THREE DAYS PRIOR TO THE SCHEDULED PRE-CONSTRUCTION MEETING. SPECIAL ATTENTION SHALL BE GIVEN TO THE 14 DAY LIMIT OF DISTURBANCE IN THE SCHEDULE ADDRESSING TEMPORARY AND PERMANENT VEGETATION MEASURES.

### CONSTRUCTION AND POST-CONSTRUCTION PHASE

AREAS UNDERGOING ACTUAL CONSTRUCTION SHALL ONLY EXPOSE THAT AMOUNT OF MINERAL SOIL NECESSARY FOR PROGRESSIVE AND EFFICIENT CONSTRUCTION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD, SUCH AS ACTIVE EXCAVATION AND ACTIVE GRADING. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS ACTIVELY OCCURRING OR CAN BE MULCHED IN THE SAME DAY. OPEN AREAS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL AS SHOWN ON THE DESIGN PLANS AND AS DESCRIBED WITHIN THIS EROSION CONTROL PLAN WITHIN SEVEN (7) DAYS OF DISTURBANCE. AREAS LOCATED WITHIN 100 FEET OF STREAMS SHALL BE ANCHORED WITH TEMPORARY EROSION CONTROL WITHIN SEVEN (7) DAYS. REFER TO WINTER EROSION CONTROL NOTES FOR THE TREATMENT OF OPEN AREAS AFTER OCTOBER 1ST OF THE CONSTRUCTION YEAR.

THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

### EROSION CONTROL APPLICATIONS & MEASURES

THE PLACEMENT OF EROSION CONTROL MEASURES SHALL BE COMPLETED IN ACCORDANCE WITH GUIDELINES ESTABLISHED IN BEST MANAGEMENT PRACTICES AND IN ACCORDANCE WITH THE EROSION CONTROL PLAN AND DETAILS IN THE PLAN SET.

#### 1. TEMPORARY MULCHING:

ALL DISTURBED AREAS SHALL BE MULCHED WITH MATERIALS SPECIFIED BELOW PRIOR TO ANY STORM EVENT. ALL DISTURBED AREAS NOT FINAL GRADED WITHIN 14 DAYS SHALL BE MULCHED. DISTURBED AREAS ADJACENT TO NATURAL RESOURCES THAT ARE NOT GRADED WITHIN SEVEN (7) DAYS SHALL BE MULCHED. ALSO, AREAS WHICH HAVE BEEN TEMPORARILY OR PERMANENTLY SEEDED, SHALL BE MULCHED IMMEDIATELY FOLLOWING SEEDING. EROSION CONTROL BLANKETS ARE RECOMMENDED TO BE USED AT THE BASE OF THE GRASSED WATERWAYS AND ON SLOPES GREATER THAN 33%. MULCH ANCHORING SHOULD BE USED ON SLOPES GREATER THAN 5% AFTER SEPTEMBER 15TH OF THE CONSTRUCTION YEAR (SEE WINTER EROSION CONTROL NOTES).

#### TYPES OF MULCH:

**HAY OR STRAW:** SHALL BE APPLIED AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE).

**EROSION CONTROL MIX:** SHALL BE PLACED EVENLY AND MUST PROVIDE 100% SOIL COVERAGE. EROSION CONTROL MIX SHALL BE APPLIED SUCH THAT THE THICKNESS ON SLOPES 3:1 OR LESS IS 2 INCHES PLUS 1/2 INCH PER 20 FEET OF SLOPE UP TO 100 FEET. THE THICKNESS ON SLOPES BETWEEN 3:1 AND 2:1 SHALL BE 4 INCHES PLUS 1/2 INCH PER 20 FEET OF SLOPE UP TO 100 FEET. THIS SHALL NOT BE USED ON SLOPES GREATER THAN 2:1.

**EROSION CONTROL BLANKET:** SHALL BE INSTALLED SUCH THAT CONTINUOUS CONTACT BETWEEN THE MAT AND THE SOIL IS OBTAINED. INSTALL BLANKETS AND STAPLE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

#### 2. SOIL STOCKPILES:

STOCKPILES OF SOIL OR SUBSOIL SHALL BE MULCHED WITH HAY OR STRAW AT A RATE OF 75 LBS/1,000 S.F. (1.5 TONS PER ACRE) OR WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND PRIOR TO ANY RAINFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES. SEDIMENT BARRIERS SHALL BE INSTALLED DOWNGRADIENT OF STOCKPILES, AND STORMWATER SHALL BE PREVENTED FROM RUNNING ONTO THE STOCKPILE.

#### 3. NATURAL RESOURCES PROTECTION:

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES SHALL BE MULCHED USING TEMPORARY MULCHING (AS DESCRIBED IN PART 1 OF THIS SECTION) WITHIN 7 DAYS OF EXPOSURE OR PRIOR TO ANY STORM EVENT. SEDIMENT BARRIERS (AS DESCRIBED IN PART 4 OF THIS SECTION) SHALL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA. PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE.

#### 4. SEDIMENT BARRIERS:

PRIOR TO THE BEGINNING OF ANY CONSTRUCTION, SEDIMENT BARRIERS SHALL BE STAKED ACROSS THE SLOPE(S), ON THE CONTOUR AT OR JUST BELOW THE LIMITS OF CLEARING OR GRUBBING, AND/OR JUST ABOVE ANY ADJACENT PROPERTY LINE OR WATERCOURSE TO PROTECT AGAINST CONSTRUCTION RELATED EROSION. SEDIMENT BARRIERS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL EXPOSED SLOPES HAVE AT LEAST 90% VIGOROUS PERENNIAL VEGETATIVE COVER TO PREVENT EROSION.

**SILT FENCE:** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE EFFECTIVE HEIGHT OF THE FENCE SHALL NOT EXCEED 36 INCHES. IT IS RECOMMENDED THAT SILT FENCE BE REMOVED BY CUTTING THE FENCE MATERIALS AT GROUND LEVEL SO AS TO AVOID ADDITIONAL SOIL DISTURBANCE.

**HAY BALES:** SHALL NOT BE INSTALLED ADJACENT TO WETLAND. INSTALL PER THE DETAIL ON THE PLANS. BALES SHALL BE WIRE-BOUND OR STRING-TIED AND THESE BINDINGS MUST REMAIN PARALLEL WITH THE GROUND SURFACE DURING INSTALLATION TO PREVENT DETERIORATION OF THE BINDINGS. BALES SHALL BE INSTALLED WITHIN A MINIMUM 4 INCH DEEP TRENCH LINE WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER.

**EROSION CONTROL MIX:** SHALL NOT BE USED ADJACENT TO WETLANDS. INSTALL PER THE DETAIL ON THE PLANS. THE MIX SHALL CONSIST PRIMARILY OF ORGANIC MATERIAL AND CONTAIN A WELL-GRADED MIXTURE OF PARTICLE SIZES AND MAY CONTAIN ROCKS LESS THAN 4 INCHES IN DIAMETER. THE MIX COMPOSITION SHALL MEET THE STANDARDS DESCRIBED WITHIN THE MDEP BEST MANAGEMENT PRACTICES. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER. EROSION CONTROL MIX BERMS SHALL NOT BE USED AT THE BOTTOM OF STEEP SLOPES (3%+) OR SLOPES WITH FLOWING WATER.

**CONTINUOUS CONTAINED BERM:** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THIS SEDIMENT BARRIER IS EROSION CONTROL MIX PLACED WITHIN A SYNTHETIC TUBULAR NETTING AND PERFORMS AS A STURDY SEDIMENT BARRIER THAT WORKS WELL ON HARD GROUND SUCH AS FROZEN CONDITIONS, TRAVELED AREAS OR PAVEMENT. NO TRENCHING IS REQUIRED FOR INSTALLATION OF THIS BARRIER.

#### 5. TEMPORARY CHECK DAMS:

SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. CHECK DAMS ARE TO BE PLACED WITHIN DITCHES/SWALES AS SPECIFIED ON THE DESIGN PLANS IMMEDIATELY AFTER FINAL GRADING. CHECK DAMS SHALL BE 2 FEET HIGH. TEMPORARY CHECK DAMS MAY BE REMOVED ONLY AFTER THE ROADWAYS ARE PAVED AND THE VEGETATED SWALE ARE ESTABLISHED WITH AT LEAST 90% OF VIGOROUS PERENNIAL GROWTH. THE AREA BENEATH THE CHECK DAM MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER REMOVAL OF THE CHECK DAM.

**STONE CHECK DAMS:** STONE DAMS SHOULD BE CONSTRUCTED OF 2 TO 3 INCH STONE AND PLACED SUCH THAT COMPLETE COVERAGE OF THE SWALE IS OBTAINED AND THAT THE CENTER OF THE DAM IS 6 INCHES LOWER THAN THE OUTER EDGES.

**HAY BALE CHECK DAMS:** BALES SHALL BE WIRE-BOUND OR STRING-TIED. BALES SHALL BE INSTALLED WITHIN A MINIMUM 4 INCH DEEP TRENCH LINE WITH ENDS OF ADJACENT BALES TIGHTLY ABUTTING ONE ANOTHER. HAY BALES SHALL BE PLACED SUCH THAT COMPLETE COVERAGE OF THE SWALE IS OBTAINED AND THAT THE CENTER OF THE DAM IS 6 INCHES LOWER THAN THE OUTER EDGES.

**MANUFACTURED CHECK DAMS:** MANUFACTURED CHECK DAMS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF AUTHORIZED BY THE PROPER LOCAL, STATE OR FEDERAL REGULATING AGENCIES. THESE UNITS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

#### 6. STORMDRAIN INLET PROTECTION:

INLET PROTECTION SHALL BE PLACED AROUND A STORMDRAIN DROP INLET OR CURB INLET PRIOR TO PERMANENT STABILIZATION OF THE IMMEDIATE AND UPSTREAM DISTURBED AREAS. THEY SHALL BE CONSTRUCTED IN A MANNER THAT WILL FACILITATE CLEAN-OUT AND DISPOSAL OF TRAPPED SEDIMENTS AND MINIMIZE INTERFERENCE WITH CONSTRUCTION ACTIVITIES. ANY RESULTANT PONDING OF WATER FROM THE PROTECTION METHOD MUST NOT CAUSE EXCESSIVE INCONVENIENCE OR DAMAGE TO ADJACENT AREAS OR STRUCTURES.

**HAY BALE DROP INLET PROTECTION:** WE DO NOT RECOMMEND THE USE OF HAY BALES AS INLET PROTECTION.

**CONCRETE BLOCK AND STONE INLET SEDIMENT FILTER (DROP OR CURB INLET):** SHALL BE INSTALLED PER THE DETAIL ON THE PLANS. THE HEIGHT OF THE CONCRETE BLOCK BARRIER CAN VARY BUT MUST BE BETWEEN 12 AND 24 INCHES TALL. A MINIMUM OF 1 INCH CRUSHED STONE SHALL BE USED.

**MANUFACTURED SEDIMENT BARRIERS AND FILTER (DROP OR CURB INLET):** MANUFACTURED FILTERS, AS SPECIFIED IN THE DETAIL ON THE PLANS, MAY BE USED IF INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

#### 7. STABILIZED CONSTRUCTION ENTRANCE/EXIT:

PRIOR TO CLEARING AND/OR GRUBBING THE SITE A STABILIZED CONSTRUCTION ENTRANCE/EXIT SHALL BE CONSTRUCTED WHEREVER TRAFFIC WILL EXIT THE CONSTRUCTION SITE ONTO A PAVED ROADWAY IN ORDER TO MINIMIZE THE TRACKING OF SEDIMENT AND DEBRIS FROM THE CONSTRUCTION SITE ONTO PUBLIC ROADWAYS. THE ENTRANCES AND ADJACENT ROADWAY AREAS SHALL BE PERIODICALLY SWEEPED TO FURTHER MINIMIZE THE TRACKING OF MUD, DUST OR DEBRIS FROM THE CONSTRUCTION AREA. THE TERM "SWEEP" IS UNDERSTOOD TO MEAN REMOVAL AND RECOVERY OF TRACKED SEDIMENT WITH A STREET SWEEPER, NOT BRUSHING THE MATERIAL INTO SWALES OR STRUCTURES WITH A MECHANICAL BROOM. STABILIZED CONSTRUCTION EXITS SHALL BE CONSTRUCTED IN AREAS SPECIFIED ON THE PLANS AND AS DETAILED ON THE PLANS. THE CONTRACTOR SHALL MAINTAIN THE STABILIZED CONSTRUCTION ENTRANCE UNTIL ALL DISTURBED AREAS ARE STABILIZED.

#### DUST CONTROL:

DUST CONTROL DURING CONSTRUCTION SHALL BE ACHIEVED BY THE USE OF A WATERING TRUCK TO PERIODICALLY SPRINKLE THE EXPOSED ROADWAY AREAS AS NECESSARY TO REDUCE DUST DURING THE DRY MONTHS. APPLYING OTHER DUST CONTROL PRODUCTS SUCH AS CALCIUM CHLORIDE OR OTHER MANUFACTURED PRODUCTS ARE ALLOWED IF AUTHORIZED BY THE PROPER LOCAL, STATE AND/OR FEDERAL REGULATING AGENCIES. HOWEVER, IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO MITIGATE DUST AND SOIL LOSS FROM THE SITE. IF OFFSITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NOT LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS.

#### TEMPORARY VEGETATION:

TEMPORARY VEGETATION SHALL BE APPLIED TO DISTURBED AREAS THAT WILL NOT RECEIVE FINAL GRADING FOR PERIODS UP TO 12 MONTHS. THIS PROCEDURE SHOULD BE USED EXTENSIVELY IN AREAS ADJACENT TO NATURAL RESOURCES. SEEDED PREPARATION AND APPLICATION OF SEED SHALL BE CONDUCTED AS INDICATED IN THE PERMANENT VEGETATION SECTION OF THIS NARRATIVE. SPECIFIC SEEDS (FAST GROWING AND SHORT LIVING) SHALL BE SELECTED FROM THE MAINE EROSION AND SEDIMENT CONTROL BMP MANUALS FOR CONTRACTORS AND ENGINEERS, 2018 OR LATEST REVISION. ALTERNATIVE EROSION CONTROL MEASURES SHOULD BE USED IF SEEDING CAN NOT BE DONE BEFORE SEPTEMBER 15TH OF THE CONSTRUCTION YEAR.

#### PERMANENT VEGETATION:

REVEGETATION MEASURES SHALL COMMENCE IMMEDIATELY UPON COMPLETION OF FINAL GRADING OF AREAS TO BE LOAMED AND SEEDED. THE APPLICATION OF SEED SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR, PLEASE REFER TO THE WINTER EROSION CONTROL NOTES FOR MORE DETAIL. REVEGETATION MEASURES SHALL CONSIST OF THE FOLLOWING:

#### SEEDED PREPARATION:

A. FOUR (4) INCHES OF LOAM SHALL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE. LOAM SHALL BE FREE OF SUBSOIL, CLAY LUMPS, STONES AND OTHER OBJECTS OVER 2 INCHES OR LARGER IN ANY DIMENSION, AND WITHOUT WEEDS, ROOTS OR OTHER OBJECTIONABLE MATERIAL.

B. SOILS TESTS SHALL BE TAKEN AT THE TIME OF SOIL STRIPPING TO DETERMINE FERTILIZATION REQUIREMENTS. SOILS TESTS SHALL BE TAKEN PROMPTLY AS TO NOT INTERFERE WITH THE 14-DAY LIMIT ON SOIL EXPOSURE. BASED UPON TEST RESULTS, SOIL AMENDMENTS SHALL BE INCORPORATED INTO THE SOIL PRIOR TO FINAL SEEDING. IN LIEU OF SOIL TESTS, SOIL AMENDMENTS MAY BE APPLIED AS FOLLOWS:

ITEM	APPLICATION RATE
10-20-20 FERTILIZER (N-P205-K20 OR EQUAL)	16.4 LBS/1,000 S.F.
GROUND LIMESTONE (10% CALCIUM & MAGNESIUM OXIDE)	138 LBS/1,000 S.F.
C. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH PROPER EQUIPMENT. ROLL THE AREA TO FIRM THE SEEDED EXCEPT ON CLAY OR SILTY SOILS OR COARSE SAND.	

#### APPLICATION OF SEED:

A. SEEDING SHALL BE CONDUCTED BETWEEN APRIL 1ST AND OCTOBER 1ST OF THE CONSTRUCTION YEAR. GENERALLY A SEED MIXTURE MAY BE APPLIED AS FOLLOWS: (MDEP SEED MIX 2 IS DISPLAYED)

SEED TYPE	APPLICATION RATE
CREeping RED FESCUE	0.46 LBS/1,000 S.F. (20 LBS/ACRE)
REDTOP	0.05 LBS/1,000 S.F. (2 LBS/ACRE)
TALL FESCUE	0.46 LBS/1,000 S.F. (20 LBS/ACRE)
TOTAL:	0.97 LBS/1,000 S.F. (42 LBS/ACRE)

NOTE: A SPECIFIC SEED MIXTURE SHOULD BE CHOSEN TO MATCH THE SOILS CONDITION OF THE SITE. VARIOUS AGENCIES CAN RECOMMEND SEED MIXTURES. MDEP RECOMMENDED SEED MIXTURES ARE IN THE EROSION AND SEDIMENT CONTROL BMP MANUAL DATED 2016 OR LATEST REVISION.

B. HYDROSEEDING SHALL BE CONDUCTED ON PREPARED AREAS WITH SLOPES LESS THAN 2:1. LIME AND FERTILIZER MAY BE APPLIED SIMULTANEOUSLY WITH THE SEED. RECOMMENDED SEEDING RATES MUST BE INCREASED BY 10% WHEN HYDROSEEDING.

C. MULCHING SHALL COMMENCE IMMEDIATELY AFTER SEED IS APPLIED. REFER TO THE TEMPORARY MULCHING SECTION OF THIS NARRATIVE FOR DETAILS.

#### SODDING:

FOLLOWING SEEDED PREPARATION, SOD CAN BE APPLIED IN LIEU OF SEEDING IN AREAS WHERE IMMEDIATE VEGETATION IS MOST BENEFICIAL SUCH AS DITCHES, AROUND STORMWATER DROP INLETS AND AREAS OF AESTHETIC VALUE. SOD SHOULD BE LAID AT RIGHT ANGLES TO THE DIRECTION OF FLOW, STARTING AT THE LOWEST ELEVATION. SOD SHOULD BE ROLLED OR TAMPED DOWN TO EVEN OUT THE JOINTS ONCE LAID DOWN, WHERE FLOW IS PREVALENT THE SOD MUST BE PROPERLY ANCHORED DOWN. IRRIGATE THE SOD IMMEDIATELY AFTER INSTALLATION. IN MOST CASES, SOD CAN BE ESTABLISHED BETWEEN APRIL 1ST AND NOVEMBER 15TH OF THE CONSTRUCTION YEAR, HOWEVER, REFER TO THE WINTER EROSION CONTROL NOTES FOR ANY ACTIVITIES AFTER OCTOBER 1ST.

#### STANDARDS FOR TIMELY STABILIZATION:

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SLOPES – THE CONTRACTOR WILL CONSTRUCT AND STABILIZE STONE-COVERED SLOPES BY NOVEMBER 15. THE CONTRACTOR WILL SEED AND MULCH ALL SLOPES TO BE VEGETATED BY SEPTEMBER 15. THE MDEP WILL CONSIDER ANY AREA HAVING A GRADE GREATER THAN 15% (10H:1V) TO BE A SLOPE. IF THE CONTRACTOR FAILS TO STABILIZE ANY SLOPE TO BE VEGETATED BY SEPTEMBER 15, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SLOPE FOR LATE FALL AND WINTER.

- STABILIZE THE SOIL WITH TEMPORARY VEGETATION AND EROSION CONTROL MATS** – BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SLOPE WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET AND APPLY EROSION CONTROL MATS OVER THE MULCHED SLOPE. THE CONTRACTOR WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SLOPE BY NOVEMBER 1, THEN THE APPLICANT WILL COVER THE SLOPE WITH A LAYER OF WOOD WASTE COMPOST AS DESCRIBED IN ITEM 2(C) OF THIS STANDARD OR WITH STONE RIPRAP AS DESCRIBED IN ITEM 2(D) OF THIS STANDARD.
- STABILIZE THE SLOPE WITH SOD** – THE CONTRACTOR WILL STABILIZE THE DISTURBED SLOPE WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SLOPE WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL. THE APPLICANT WILL NOT USE LATE-SEASON SOD INSTALLATION TO STABILIZE SLOPES HAVING A GRADE GREATER THAN 33% (3H:1V).
- STABILIZE THE SLOPE WITH WOOD WASTE COMPOST** – THE CONTRACTOR WILL PLACE A SIX-INCH LAYER OF WOOD WASTE COMPOST ON THE SLOPE BY NOVEMBER 15. PRIOR TO PLACING THE WOOD WASTE COMPOST, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED SLOPE. THE APPLICANT WILL NOT USE WOOD WASTE COMPOST TO STABILIZE SLOPES HAVING GRADES GREATER THAN 50% (2H:1V) OR HAVING GROUNDWATER SEEPS ON THE SLOPE FACE.
- STABILIZE THE SLOPE WITH STONE RIPRAP** – THE CONTRACTOR WILL PLACE A LAYER OF STONE RIPRAP ON THE SLOPE BY NOVEMBER 15. THE APPLICANT WILL HIRE A REGISTERED PROFESSIONAL ENGINEER TO DETERMINE THE STONE SIZE NEEDED FOR STABILITY AND TO DESIGN A FILTER LAYER FOR UNDERNEATH THE RIPRAP.

STANDARD FOR THE TIMELY STABILIZATION OF DISTURBED SOILS – BY SEPTEMBER 15 THE CONTRACTOR WILL SEED AND MULCH ALL DISTURBED SOILS ON AREAS HAVING A SLOPE LESS THAN 15% (10H:1V). IF THE CONTRACTOR FAILS TO STABILIZE THESE SOILS BY THIS DATE, THEN THE CONTRACTOR WILL TAKE ONE OF THE FOLLOWING ACTIONS TO STABILIZE THE SOIL FOR LATE FALL AND WINTER.

- STABILIZE THE SOIL WITH TEMPORARY VEGETATION** – BY OCTOBER 1 THE CONTRACTOR WILL SEED THE DISTURBED SOIL WITH WINTER RYE AT A SEEDING RATE OF 3 POUNDS PER 1,000 SQUARE FEET. LIGHTLY MULCH THE SEEDED SOIL WITH HAY OR STRAW AT 75 POUNDS PER 1,000 SQUARE FEET, AND ANCHOR THE MULCH WITH PLASTIC NETTING. THE APPLICANT WILL MONITOR GROWTH OF THE RYE OVER THE NEXT 30 DAYS. IF THE RYE FAILS TO GROW AT LEAST THREE INCHES OR COVER AT LEAST 75% OF THE DISTURBED SOIL BEFORE NOVEMBER 15, THEN THE APPLICANT WILL MULCH THE AREA FOR OVER-WINTER PROTECTION AS DESCRIBED IN ITEM 3(C) OF THIS STANDARD.
- STABILIZE THE SOIL WITH SOD** – THE APPLICANT WILL STABILIZE THE DISTURBED SOIL WITH PROPERLY INSTALLED SOD BY OCTOBER 1. PROPER INSTALLATION INCLUDES THE APPLICANT PINNING THE SOD ONTO THE SOIL WITH WIRE PINS, ROLLING THE SOD TO GUARANTEE CONTACT BETWEEN THE SOD AND UNDERLYING SOIL, AND WATERING THE SOD TO PROMOTE ROOT GROWTH INTO THE DISTURBED SOIL.
- STABILIZE THE SOIL WITH MULCH** – THE CONTRACTOR WILL STABILIZE THE DISTURBED SOIL BY SPREADING HAY OR STRAW AT A RATE OF AT LEAST 150 POUNDS PER 1,000 SQUARE FEET ON THE AREA SO THAT NO SOIL IS VISIBLE THROUGH THE MULCH. PRIOR TO APPLYING THE MULCH, THE APPLICANT WILL REMOVE ANY SNOW ACCUMULATION ON THE DISTURBED AREA. IMMEDIATELY AFTER APPLYING THE MULCH, THE APPLICANT WILL ANCHOR THE MULCH WITH PLASTIC NETTING TO PREVENT WIND FROM MOVING THE MULCH OFF THE DISTURBED SOIL.

1. MAINTENANCE MEASURES SHALL BE APPLIED AS NEEDED DURING THE ENTIRE CONSTRUCTION CYCLE. AFTER EACH RAINFALL, SNOW STORM OR PERIOD OF THAWING AND RUNOFF, AND AT LEAST EVERY SEVEN (7) DAYS, THE CONTRACTOR SHALL PERFORM A VISUAL INSPECTION OF ALL INSTALLED EROSION CONTROL MEASURES. THE CONTRACTOR SHALL IMMEDIATELY REPAIRS NO LATER THAN THE END OF THE NEXT WORKDAY, TO ALLOW CONTINUED PROPER FUNCTIONING OF THE EROSION CONTROL MEASURE. THE CONTRACTOR SHALL PROVIDE THE NECESSARY REGULATING AGENCIES WITH WRITTEN DOCUMENTATION DESCRIBING DATES OF INSPECTIONS AND NECESSARY FOLLOW-UP WORK TO MAINTAIN EROSION CONTROL MEASURES MEETING THE REQUIREMENTS OF THIS PLAN WITHIN SEVEN (7) DAYS.

2. FOLLOWING THE TEMPORARY AND/OR FINAL SEEDINGS, THE CONTRACTOR SHALL INSPECT THE WORK AREA SEMIMONTHLY UNTIL THE SEEDINGS HAVE BEEN ESTABLISHED. ESTABLISHED MEANS A MINIMUM OF 90% OF AREAS VEGETATED WITH VIGOROUS GROWTH. RESEEDING SHALL BE CARRIED OUT BY THE CONTRACTOR WITH FOLLOW-UP INSPECTIONS IN THE EVENT OF ANY FAILURES UNTIL VEGETATION IS ADEQUATELY ESTABLISHED.

#### HOUSEKEEPING:

1. SPILL PREVENTION, CONTROLS MUST BE USED TO PREVENT POLLUTANTS FROM CONSTRUCTION AND WASTE MATERIALS STORED ON SITE TO ENTER STORMWATER, WHICH INCLUDES STORAGE PRACTICES TO MINIMIZE EXPOSURE OF THE MATERIALS TO STORMWATER. THE SITE CONTRACTOR OR OPERATOR MUST DEVELOP, AND IMPLEMENT AS NECESSARY, APPROPRIATE SPILL PREVENTION, CONTAINMENT, AND RESPONSE PLANNING MEASURES.

2. GROUNDWATER PROTECTION, DURING CONSTRUCTION, LIQUID PETROLEUM PRODUCTS AND OTHER HAZARDOUS MATERIALS WITH THE POTENTIAL TO CONTAMINATE GROUNDWATER MAY NOT BE STORED OR HANDLED IN AREAS OF THE SITE DRAINING TO AN INFILTRATION AREA. AN "INFILTRATION AREA" IS ANY AREA OF THE SITE THAT BY DESIGN OR ACCIDENTAL CIRCUMSTANCES ACCUMULATES RUNOFF THAT OR OTHER RELEVANT FACTORS ACCUMULATES RUNOFF INTO THE SOIL. DIKES, BERMS, SUMPS, AND OTHER FORMS OF SECONDARY CONTAINMENT THAT PREVENT DISCHARGE TO GROUNDWATER MAY BE USED TO ISOLATE PORTIONS OF THE SITE FOR THE PURPOSES OF STORAGE AND HANDLING OF THESE MATERIALS. ANY PROJECT PROPOSING INFILTRATION OF STORMWATER MUST PROVIDE ADEQUATE PRE-TREATMENT OF STORMWATER PRIOR TO DISCHARGE OF STORMWATER TO THE INFILTRATION AREA, OR PROVIDE FOR TREATMENT WITHIN THE INFILTRATION AREA, IN ORDER TO PREVENT THE ACCUMULATION OF FINES, REDUCTION IN INFILTRATION RATE, AND CONSEQUENT FLOODING AND DESTABILIZATION.

3. FUGITIVE SEDIMENT AND DUST ACTIONS MUST BE TAKEN TO ENSURE THAT ACTIVITIES DO NOT RESULT IN NOTICEABLE EROSION OF SOILS OR FUGITIVE DUST EMISSIONS DURING OR AFTER CONSTRUCTION. OIL MAY NOT BE USED FOR DUST CONTROL, BUT OTHER WATER ADDITIVES MAY BE CONSIDERED AS NEEDED. A STABILIZED CONSTRUCTION ENTRANCE (BCE) SHOULD BE INCLUDED TO MINIMIZE TRACKING OF MUD AND SEDIMENT; IF OFF-SITE TRACKING OCCURS, PUBLIC ROADS SHOULD BE SWEEP IMMEDIATELY AND NO LESS THAN ONCE A WEEK AND PRIOR TO SIGNIFICANT STORM EVENTS. OPERATIONS DURING DRY MONTHS, THAT EXPERIENCE FUGITIVE DUST PROBLEMS, SHOULD WET DOWN UNPAVED ACCESS ROADS ONCE A WEEK OR MORE FREQUENTLY AS NEEDED WITH A WATER ADDITIVE TO SUPPRESS FUGITIVE SEDIMENT AND DUST.

4. DEBRIS AND OTHER MATERIALS, MINIMIZE THE EXPOSURE OF CONSTRUCTION DEBRIS, BUILDING AND LANDSCAPING MATERIALS, TRASH, FERTILIZERS, PESTICIDES, HERBICIDES, DETERGENTS, SANITARY WASTE AND OTHER MATERIALS TO PRECIPITATION AND STORMWATER RUNOFF. THESE MATERIALS MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE.

5. EXCAVATION DE-WATERING, EXCAVATION DE-WATERING IS THE REMOVAL OF WATER FROM TRENCHES, FOUNDATIONS, COFFER DAMS, PONDS, AND OTHER AREAS WITHIN THE CONSTRUCTION AREA THAT RETAIN WATER AFTER EXCAVATION. IN MOST CASES THE COLLECTED WATER IS HEAVILY SILTED AND HINDERS CORRECT AND SAFE CONSTRUCTION PRACTICES. THE COLLECTED WATER REMOVED FROM THE PONDED AREA, EITHER THROUGH GRAVITY OR PUMPING, MUST BE SPREAD THROUGH NATURAL WOODED BUFFERS OR REMOVED TO AREAS THAT ARE SPECIFICALLY DESIGNED TO COLLECT THE MAXIMUM AMOUNT OF SEDIMENT POSSIBLE, LIKE A COFFERDAM SEDIMENTATION BASIN. AVOID ALLOWING THE WATER TO FLOW OVER DISTURBED AREAS OF THE SITE. EQUIVALENT MEASURES MAY BE TAKEN IF APPROVED BY THE DEPARTMENT.

6. AUTHORIZED NON-STORMWATER DISCHARGES, IDENTIFY AND PREVENT CONTAMINATION BY NON-STORMWATER DISCHARGES. WHERE ALLOWED NON-STORMWATER DISCHARGES EXIST, THEY MUST BE IDENTIFIED AND STEPS SHOULD BE TAKEN TO ENSURE THE IMPLEMENTATION OF APPROPRIATE POLLUTION PREVENTION MEASURES FOR THE NON-STORMWATER COMPONENT(S) OF THE DISCHARGE. AUTHORIZED NON-STORMWATER DISCHARGES ARE:

- DISCHARGES FROM FIREFIGHTING ACTIVITY;
- FIRE HYDRANT FLUSHINGS;
- VEHICLE WASHWATER IF DETERGENTS ARE NOT USED AND WASHING IS LIMITED TO THE EXTERIOR OF VEHICLES (ENGINE, UNDERCARRIAGE AND TRANSMISSION WASHING IS PROHIBITED);
- DUST CONTROL RUNOFF IN ACCORDANCE WITH PERMIT CONDITIONS;
- ROUTINE EXTERIOR WASHDOWN, NOT INCLUDING SURFACE PAINT REMOVAL, THAT DOES NOT INVOLVE DETERGENTS;
- PAVEMENT WASHWATER (WHERE SPILLS/LEAKS OF TOXIC OR HAZARDOUS MATERIALS HAVE NOT OCCURRED, UNLESS ALL SPILLED MATERIAL HAD BEEN REMOVED) IF DETERGENTS ARE NOT USED;
- UNCONTAMINATED AIR CONDITIONING OR COMPRESSOR CONDENSATE;
- POTABLE WATER SOURCES INCLUDING WATERLINE FLUSHINGS; AND
- LANDSCAPE IRRIGATION.

7. UNAUTHORIZED NON-STORMWATER DISCHARGES, THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE A DISCHARGE THAT IS MIXED WITH A SOURCE OF NON-STORMWATER, OTHER THAN THOSE DISCHARGES SPECIFICALLY TAKEN TO ENSURE THE DEPARTMENT'S APPROVAL DOES NOT AUTHORIZE DISCHARGES OF THE FOLLOWING:

- WASTEWATER FROM THE WASHOUT OR CLEAN OUT OF CONCRETE, STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS OR OTHER CONSTRUCTION MATERIALS;
- FUELS, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE;
- SOAPS, SOLVENTS, OR DETERGENTS USED IN VEHICLE AND EQUIPMENT WASHING; AND
- TOXIC OR HAZARDOUS SUBSTANCES FROM A SPILL OR OTHER RELEASE.

## WINTER EROSION CONTROL MEASURES

THE WINTER CONSTRUCTION PERIOD IS FROM NOVEMBER 1 THROUGH APRIL 15. IF THE CONSTRUCTION SITE IS NOT STABILIZED WITH PAVEMENT, A ROAD GRAVEL BASE, 75% MATURE VEGETATION COVER OR RIPRAP BY NOVEMBER 1 THEN THE SITE NEEDS TO BE PROTECTED WITH OVER-WINTER STABILIZATION. AN AREA CONSIDERED OPEN IS ANY AREA NOT STABILIZED WITH PAVEMENT, VEGETATION, MULCHING, EROSION CONTROL MATS, RIPRAP OR GRAVEL BASE ON A ROAD. LIMIT THE EXPOSED AREA TO THOSE AREAS IN WHICH WORK IS EXPECTED TO BE UNDER TAKEN DURING THE PROCEEDING 15 DAYS AND THAT CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT. ALL AREAS SHALL BE CONSIDERED TO BE DENUDED UNTIL THE SUBBASE GRAVEL IS INSTALLED IN ROADWAY AREAS OR THE AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH RATE SHALL BE A MINIMUM OF 150 LBS/1,000 S.F. (3 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. THE CONTRACTOR MUST INSTALL ANY ADDED MEASURES WHICH MAY BE NECESSARY TO CONTROL EROSION/SEDDIMENTATION FROM THE SITE DEPENDENT UPON THE ACTUAL SITE AND WEATHER CONDITIONS. CONTINUATION OF EARTHWORK OPERATIONS ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED, IN ORDER TO MINIMIZE AREAS WITHOUT EROSION CONTROL PROTECTION.

#### 1. SOIL STOCKPILES

STOCKPILES OF SOIL OR SUBSOIL WILL BE MULCHED FOR OVER WINTER PROTECTION WITH HAY OR STRAW AT TWICE THE NORMAL RATE OR AT 150 LBS/1,000 S.F. (3 TONS PER ACRE) WITH A FOUR-INCH LAYER OF WOOD WASTE EROSION CONTROL MIX. THIS WILL BE DONE WITHIN 24 HOURS OF STOCKING AND RE-ESTABLISHED PRIOR TO ANY RAINFALL OR SNOWFALL. ANY SOIL STOCKPILE WILL NOT BE PLACED (EVEN COVERED WITH HAY OR STRAW) WITHIN 100 FEET FROM ANY NATURAL RESOURCES.

#### 2. NATURAL RESOURCES PROTECTION

ANY AREAS WITHIN 100 FEET FROM ANY NATURAL RESOURCES, IF NOT STABILIZED WITH A MINIMUM OF 75% MATURE VEGETATION CATCH, SHALL BE MULCHED BY DECEMBER 1 AND ANCHORED WITH PLASTIC NETTING OR PROTECTED WITH EROSION CONTROL MATS. DURING WINTER CONSTRUCTION, A DOUBLE LINE OF SEDIMENT BARRIERS (I.E. SILT FENCE BACKED WITH HAY BALES OR EROSION CONTROL MIX) WILL BE PLACED BETWEEN ANY NATURAL RESOURCE AND THE DISTURBED AREA.

PROJECTS CROSSING THE NATURAL RESOURCE SHALL BE PROTECTED A MINIMUM DISTANCE OF 100 FEET ON EITHER SIDE FROM THE RESOURCE. EXISTING PROJECTS NOT STABILIZED BY DECEMBER 1 SHALL BE PROTECTED WITH THE SECOND LINE OF SEDIMENT BARRIER TO ENSURE FUNCTIONALITY DURING THE SPRING THAW AND RAINS.

#### 3. SEDIMENT BARRIERS

DURING FROZEN CONDITIONS, SEDIMENT BARRIERS SHALL CONSIST OF WOOD WASTE FILTER BERMS AS FROZEN SOIL PREVENTS THE PROPER INSTALLATION OF HAY BALES AND SEDIMENT SILT FENCES.

#### 4. MULCHING

ALL AREA SHALL BE CONSIDERED TO BE DENUDED UNTIL AREAS OF FUTURE LOAM AND SEED HAVE BEEN LOAMED, SEEDED AND MULCHED. HAY AND STRAW MULCH SHALL BE APPLIED AT A RATE OF 150 LB. PER 1,000 SQUARE FEET OR 3 TONS/ACRE (TWICE THE NORMAL ACCEPTED RATE OF 75-LBS/1,000 S.F. OR 1.5 TONS/ACRE) AND SHALL BE PROPERLY ANCHORED. MULCH SHALL NOT BE SPREAD ON TOP OF SNOW. THE SNOW WILL BE REMOVED DOWN TO A ONE-INCH DEPTH OR LESS PRIOR TO APPLICATION. AFTER EACH DAY OF FINAL GRADING, THE AREA WILL BE PROPERLY STABILIZED WITH ANCHORED HAY OR STRAW OR EROSION CONTROL MATTINGS. AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR HAY AT A RATE OF 150 LB. PER 1,000 SQUARE FEET (3 TONS/ACRE) AND ADEQUATELY ANCHORED THAT GROUND SURFACE IS NOT VISIBLE THOUGH THE MULCH.

BETWEEN THE DATES OF SEPTEMBER 1 AND APRIL 15, ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING, ASPHALT EMULSION CHEMICAL, TRACK OR WOOD CELLULOSE FIBER. WHEN GROUND SURFACE IS NOT VISIBLE THOUGH THE MULCH THEN COVER IS SUFFICIENT.

AFTER NOVEMBER 1ST, MULCH AND ANCHORING OF ALL BARE SOIL SHALL OCCUR AT THE END OF EACH FINAL GRADING WORK DAY.

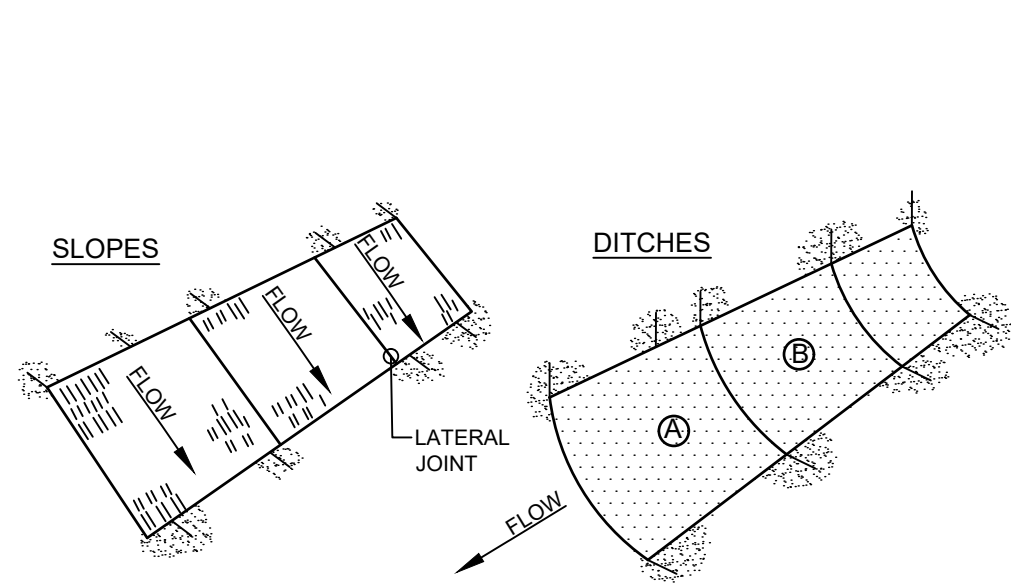
#### 5. MULCHING ON SLOPES AND DITCHES

SLOPES SHALL NOT BE LEFT EXPOSED FOR ANY EXTENDED TIME OF WORK SUSPENSION UNLESS FULLY MULCHED AND ANCHORED WITH PEG AND NETTING OR WITH EROSION CONTROL BLANKETS. MULCH NETTING SHALL BE USED ON ALL SLOPES GREATER THAN 3:1. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPES EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 5%. EROSION CONTROL BLANKETS SHALL BE USED IN LIEU OF MULCH IN ALL DRAINAGE WAYS WITH SLOPES 8%. EROSION CONTROL MIX CAN BE USED TO SUBSTITUTE EROSION CONTROL BLANKETS ON ALL SLOPES EXCEPT DITCHES.

#### 6. SEEDING

BETWEEN THE DATES OF OCTOBER 15 AND APRIL 1ST, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES FINISHED AREAS SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOAMED, FINAL GRADED WITH A UNIFORM SURFACE, THEN THE AREA MAY BE DORMANT SEEDED AT A RATE OF 3 TIMES HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. DORMANT SEEDING MAY BE SELECTED TO BE PLACED PRIOR TO THE PLACEMENT OF MULCH AND FABRIC NETTING ANCHORED WITH STAPLES. IF DORMANT SEEDING IS USED FOR THE SITE, ALL DISTURBED AREAS SHALL RECEIVE 4" OF LOAM AND SEED AT AN APPLICATION RATE OF 5LBS/1000 S.F. ALL AREAS SEEDED DURING THE WINTER WILL BE INSPECTED IN THE SPRING FOR ADEQUATE CATCH. ALL AREAS SUFF

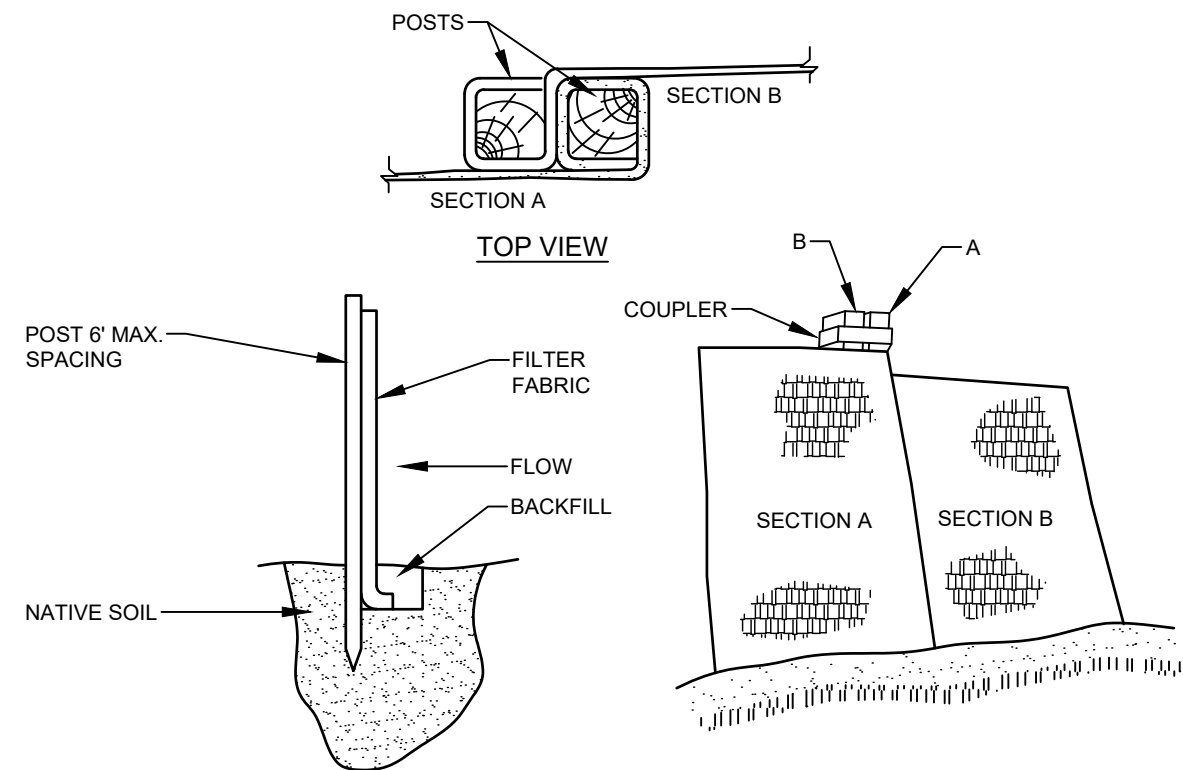




- NOTES:**
- BURY THE TOP END OF THE MESH MATERIAL IN A 6" TRENCH AND BACKFILL AND TAMP TRENCHING SECURE END WITH STAPLES AT 6" SPACING. 4" DOWN FROM EXPOSED END.
  - FLOW DIRECTION JOINTS TO HAVE UPPER END OF LOWER STRIP BURIED WITH UPPER LAYERS OVERLAPPED 4" AND STAPLED. OVERLAP 6" OVER A.
  - LATERAL JOINTS TO HAVE 4" OVERLAP OF STRIPS. STAPLE 18" ON CENTER.
  - STAPLE OUTSIDE LATERAL EDGE 2" ON CENTER.
  - WIRE STAPLES TO BE MIN OF #11 WIRE 6" LONG AND 1-1/2" WIDE.
  - USE NORTH AMERICAN GREEN DS 150 OR APPROVED EQUAL.

## EROSION CONTROL BLANKET

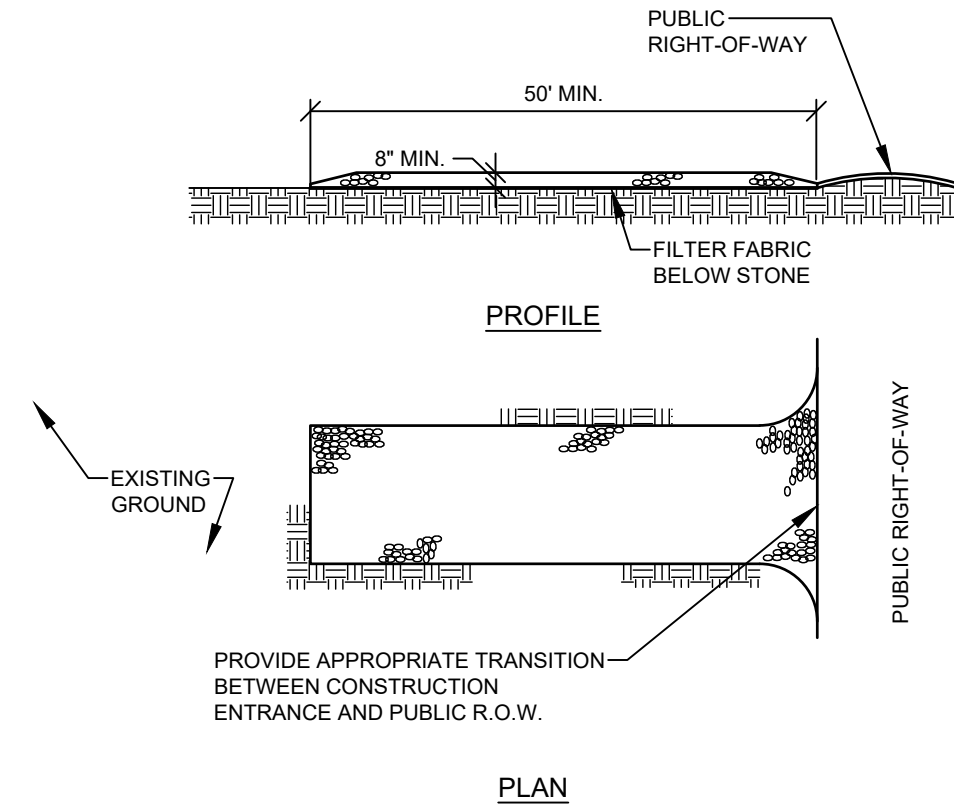
NOT TO SCALE



- INSTALLATION:**
- EXCAVATE A 6"x 6" TRENCH ALONG THE LINE OF PLACEMENT FOR THE FILTER BARRIER.
  - UNROLL A SECTION AT A TIME AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH.
  - DRIVE POSTS INTO THE GROUND UNTIL APPROXIMATELY 2" OF FABRIC IS LYING ON THE TRENCH BOTTOM.
  - LAY THE TOE-IN FLAP OF FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING THE FABRIC FLAP ON UNDISTURBED GROUND AND PILING AND TAMPING FILL AT THE BASE, BUT MUST BE ACCOMPANIED BY AN INTERCEPTION DITCH.
  - JOIN SECTION AS SHOWN ABOVE.
  - BARRIER SHALL BE MIRAFI SILT FENCE OR EQUAL.
  - THE FENCE SHOULD BE ANCHORED TO RESIST PULL-OUT AND BE STRETCHED TIGHTLY BETWEEN STAKES TO PREVENT SAGGING.
  - IN AREAS WHERE FLAP CANNOT BE KEYED PROPERLY (DUE TO FROZEN GROUND, BEDROCK, STONY SOILS, ROOTS NEAR A PROTECTED NATURAL RESOURCE, ETC.), THE SILT FENCE SHOULD BE ANCHORED WITH AGGREGATE, CRUSHED STONE, EROSION CONTROL MIX OR OTHER MATERIAL.
  - FILTER BARRIER NEEDS TO BE REMOVED WHEN THE AREA IS STABILIZED.

## FILTER BARRIER

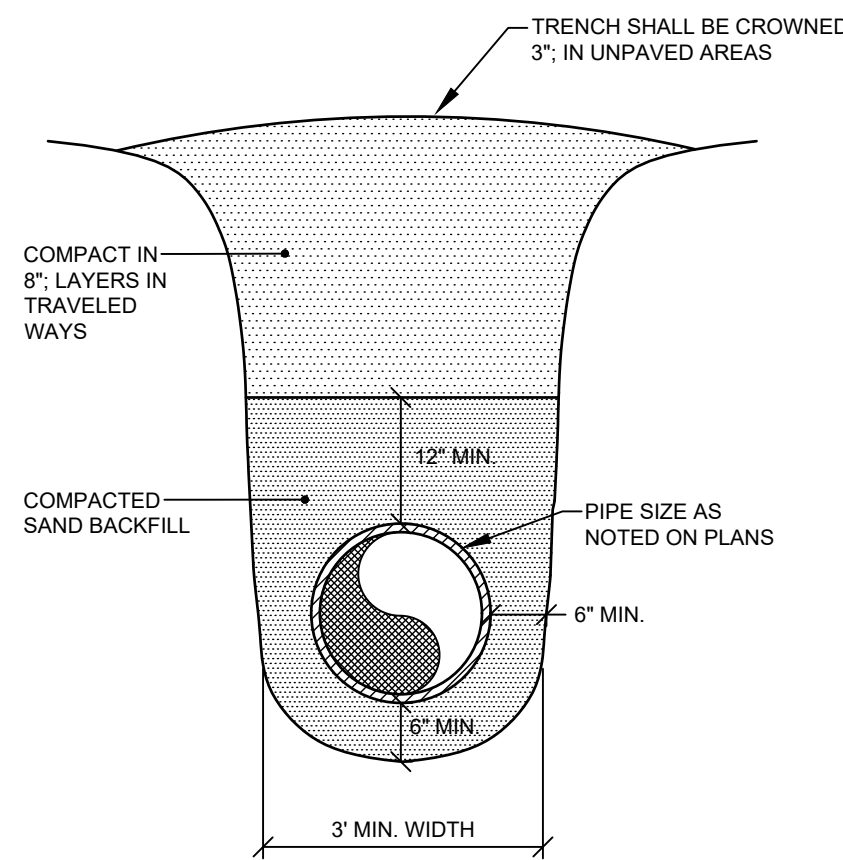
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- NOTES:**
- STONE SIZE- AASHTO DESIGNATION M43, SIZE NO. 2 (2 1/2" TO 1 1/2"). USE CRUSHED STONE.
  - LENGTH- AS SHOWN ON PLANS, MIN. 50 FEET.
  - THICKNESS- NOT LESS THAN EIGHT (8) INCHES.
  - WIDTH- NOT LESS THAN FULL WIDTH OF ALL POINT OF INGRESS OR EGRESS.
  - MAINTENANCE- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHT-OF-WAY MUST BE REMOVED IMMEDIATELY.

## STABILIZED CONSTRUCTION ENTRANCE

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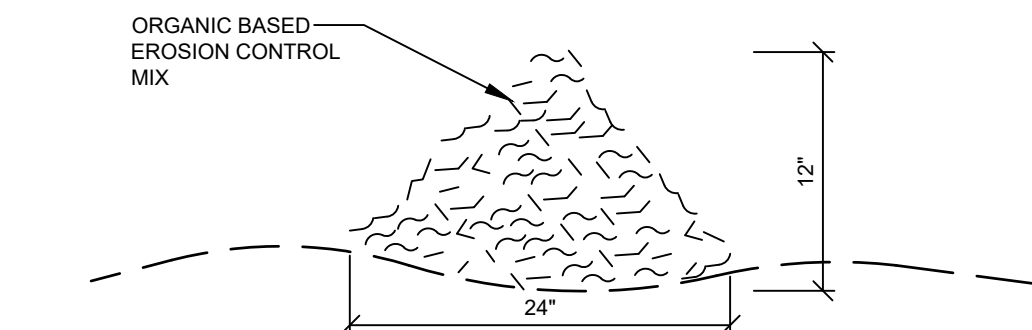


- NOTE:**
- CLAY DAMS WILL BE INSTALLED IN LEDGE TRENCHES EVERY 100' IN AREAS OF MORE THAN 3% SLOPE

## SECTION THROUGH LEDGE TRENCH

NOT TO SCALE

- NOTE:**
- ALL DRIVEWAY CULVERT SIZES WILL HAVE A 15" DIA. MINIMUM. ALL ROAD CROSSING CULVERTS CULVERTS AND STORM DRAIN LINES SHALL BE SMOOTH BORE HIGH DENSITY POLYETHYLENE (HDPE) SUCH AS HANCOR HI-Q OR APPROVED EQUAL OR AS OTHERWISE NOTED ON THE SITE, GRADING AND UTILITY PLAN.



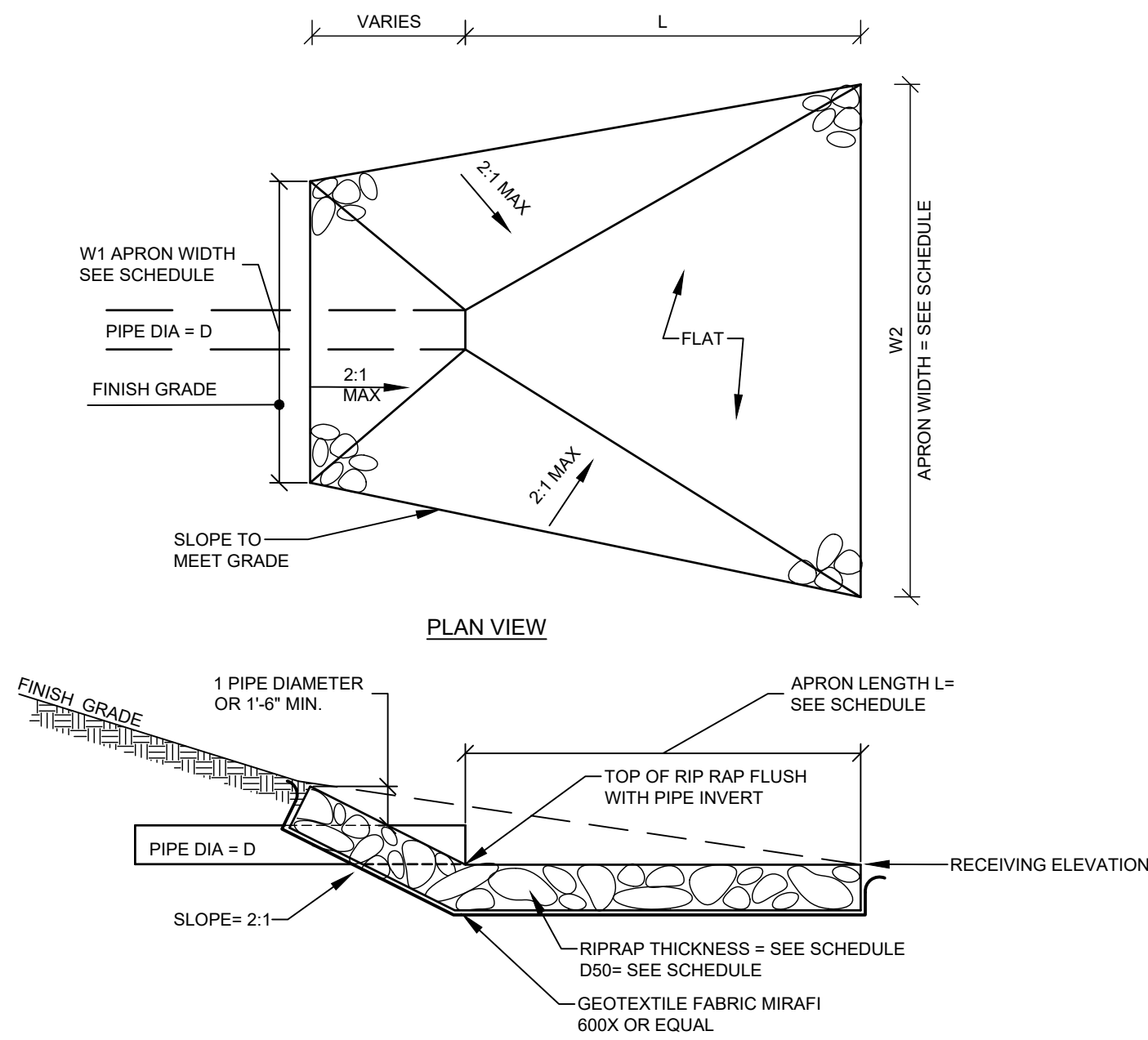
**COMPOSITION**

EROSION CONTROL MIX SHALL BE MANUFACTURED ON OR OFF THE PROJECT SITE SUCH THAT ITS COMPOSITION IS IN ACCORDANCE WITH THE LATEST VERSION OF THE MDEP MAINE EROSION AND SEDIMENT CONTROL BMP MANUAL. IT MUST CONSIST PRIMARILY OF ORGANIC MATERIAL, SEPARATED AT THE POINT OF GENERATION, AND MAY INCLUDE: SHREDDED BARK, STUMP GRINDINGS, COMPOSTED BARK, OR ACCEPTABLE MANUFACTURED PRODUCTS. WOOD AND BARK CHIPS, GROUND CONSTRUCTION DEBRIS OR REPROCESSED WOOD PRODUCTS WILL NOT BE ACCEPTABLE AS THE ORGANIC COMPONENT OF THE MIX.

- INSTALLATION:**
- THE BARRIER MUST BE PLACED ACROSS THE SLOPE, ALONG THE CONTOUR.
  - EXISTING GROUND SHALL BE PREPARED SUCH THAT THE BARRIER MAY LIE NEARLY FLAT ALONG THE GROUND TO AVOID THE CREATION OF VOIDS AND BRIDGES IN ORDER TO MINIMIZE THE POTENTIAL OF WASH OUTS UNDER THE BARRIER.
  - THE BARRIER SHALL BE A MINIMUM OF 1 FOOT HIGH (AS MEASURED ON THE UPHILL SIDE) AND 2 FEET WIDE FOR SLOPES LESS THAN 5% IN GRADE AND SHALL BE WIDER TO ACCOMMODATE THE ADDITIONAL RUNOFF.
  - EROSION CONTROL MIX CAN BE INSTALLED WHERE SILT FENCE IS ILLUSTRATED ON THE DESIGN PLANS IN AREAS EXCEPT IN, BUT NOT LIMITED TO, THE FOLLOWING AREAS: WETLAND AREAS, AT POINTS OF CONCENTRATED FLOW, BELOW CULVERT OUTLET APRONS, AROUND CATCH BASINS AND CLOSED STORM SYSTEMS AND AT THE BOTTOM OF STEEP SLOPES THAT ARE MORE THAN 50 FEET FROM TOP TO BOTTOM.
  - BERMS COMPOSED OF EROSION CONTROL MIX CAN BE RESHAPED WHEN NECESSARY.

## EROSION CONTROL MIX BERM

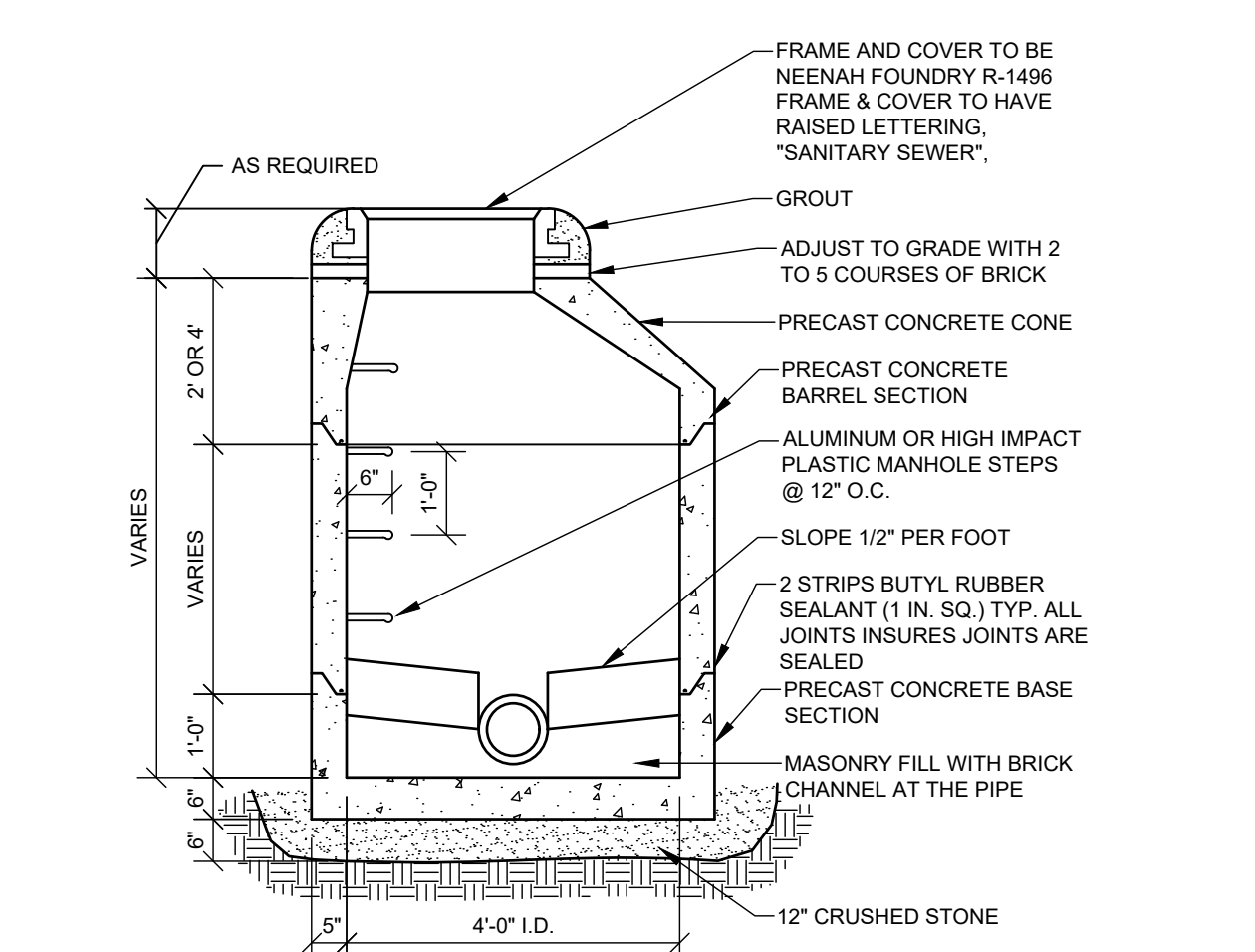
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## SECTION VIEW

## RIPRAP APRON

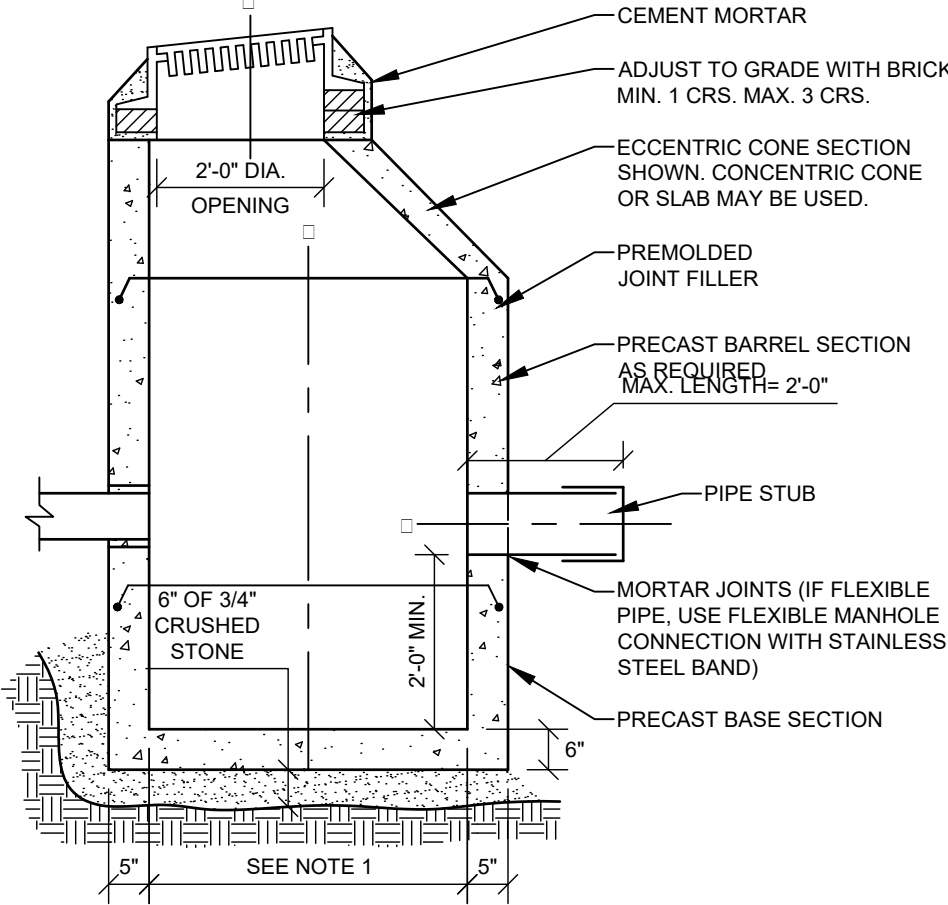
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- NOTE:**
- PIPE CONNECTIONS SHALL BE WATERTIGHT FLEXIBLE BOOT CONNECTORS PROVIDES LEAKPROOF CONNECTION.

## PRECAST MANHOLE

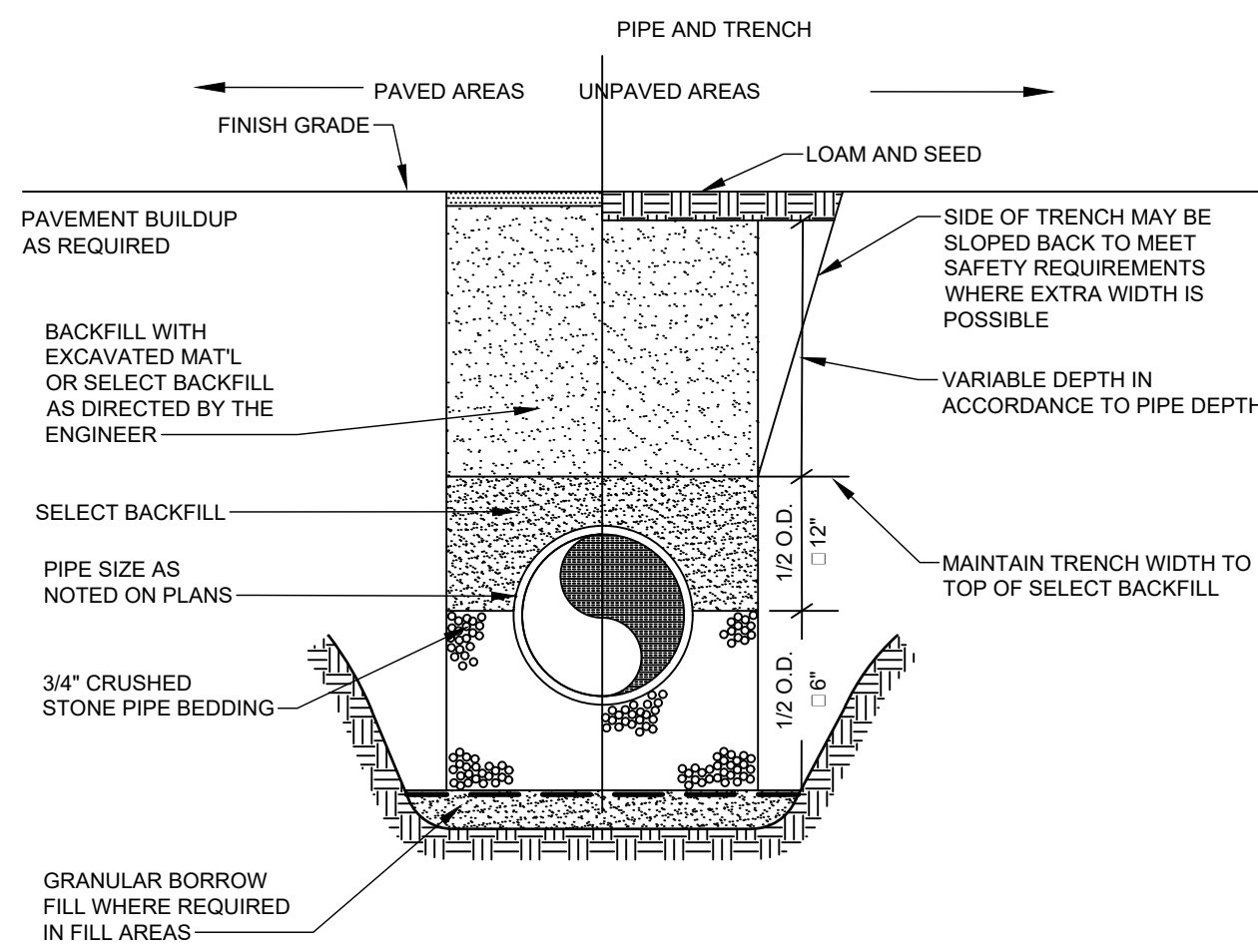
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- NOTES:**
- 4'-0" I.D. TYPICAL. SOME STRUCTURES MAY REQUIRE LARGER I.D. PROVIDE SHOP DRAWINGS.
  - DRAINAGE STRUCTURES TO BE DESIGNED FOR H-20 LOADING.
  - PIPE SIZES AND INVERTS AS NOTED ON PLANS.
  - CATCH BASIN FRAME AND GRATE TO BE EJ 5520M5 OR APPROVED EQUAL.
  - DRAINAGE MANHOLE FRAME AND COVER TO BE NEENAH FOUNDRY R-1792-FL OR APPROVED EQUAL. COVER SHALL BE MARKED "DRAIN".

## TYPICAL CATCH BASIN

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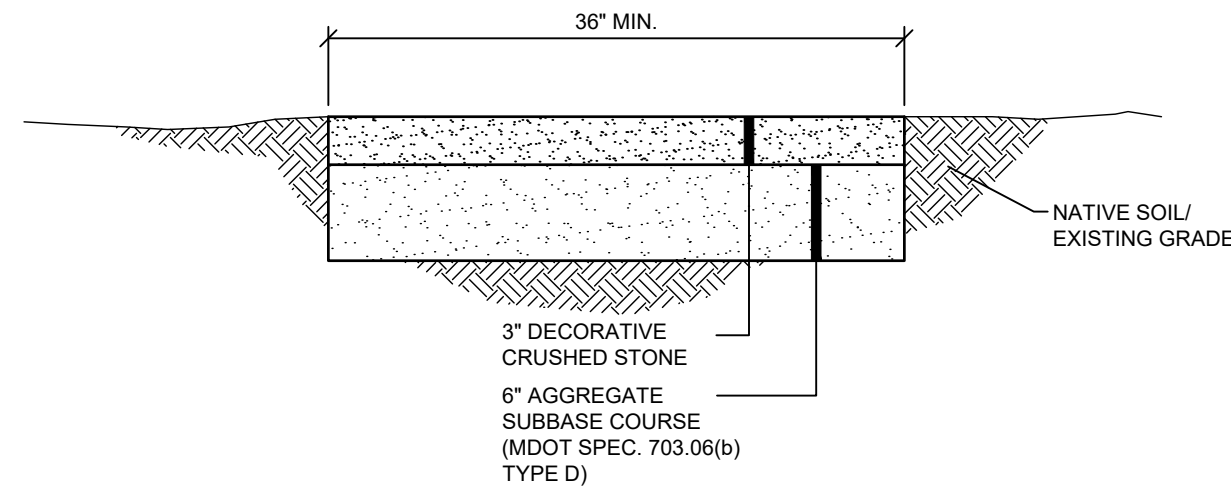


## TYPICAL TRENCH SECTION

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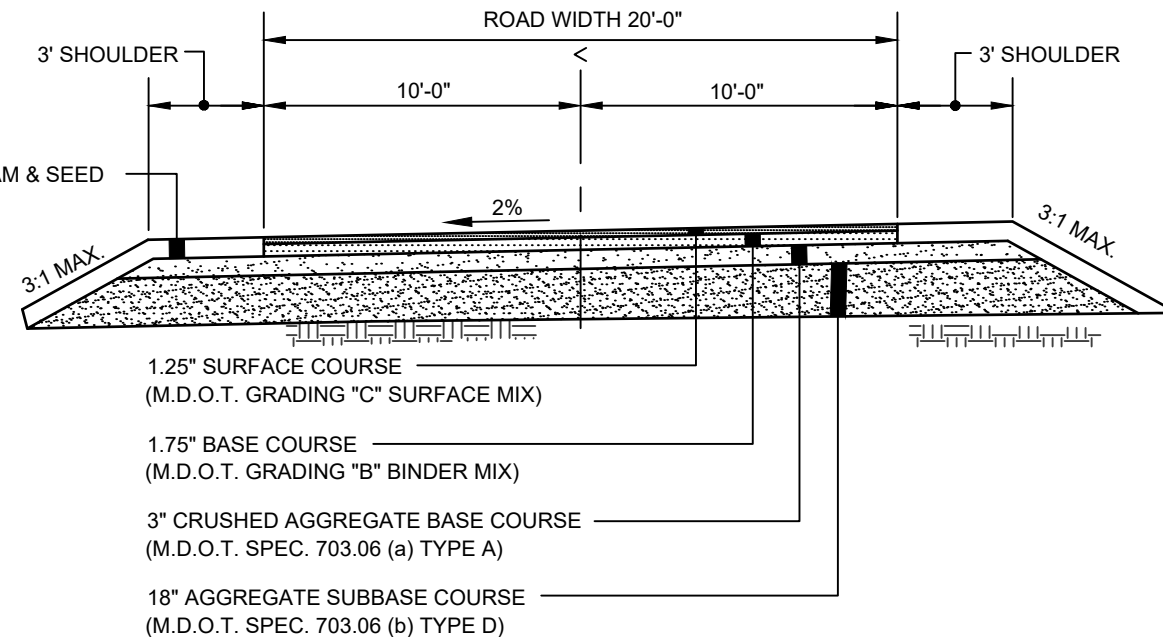
## CONSTRUCTION NOTES

- ALL WORK SHALL CONFORM TO THE APPLICABLE CODES AND ORDINANCES.
- CONTRACTOR SHALL VISIT THE SITE AND FAMILIARIZE HIM OR HERSELF WITH ALL CONDITIONS AFFECTING THE PROPOSED WORK AND SHALL MAKE PROVISIONS AS TO THE COST THEREOF. CONTRACTOR SHALL BE RESPONSIBLE FOR FAMILIARIZING HIM OR HERSELF WITH ALL CONTRACT DOCUMENTS, FIELD CONDITIONS AND DIMENSIONS AND CONFIRMING THAT THE WORK MAY BE ACCOMPLISHED AS SHOWN PRIOR TO PROCEEDING WITH CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE COMMENCEMENT OF WORK.
- CONTRACTOR SHALL NOTIFY ENGINEER OF ALL PRODUCTS OR ITEMS NOTED AS "EXISTING" WHICH ARE NOT FOUND IN THE FIELD.
- INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND OWNER'S REQUIREMENTS UNLESS SPECIFICALLY OTHERWISE INDICATED OR WHERE LOCAL CODES OR REGULATIONS TAKE PRECEDENCE.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO FABRICATION AND ERECTION OF ANY MATERIAL. ANY UNUSUAL CONDITIONS SHALL BE REPORTED TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL CLEAN AND REMOVE DEBRIS AND SEDIMENT DEPOSITED ON PUBLIC STREETS, SIDEWALKS, ADJACENT AREAS, OR OTHER PUBLIC WAYS DUE TO CONSTRUCTION.
- CONTRACTOR SHALL INCORPORATE PROVISIONS AS NECESSARY IN CONSTRUCTION TO PROTECT EXISTING STRUCTURES, PHYSICAL FEATURES, AND MAINTAIN SITE STABILITY DURING CONSTRUCTION. CONTRACTOR SHALL RESTORE ALL AREAS TO ORIGINAL CONDITION AND AS DIRECTED BY DESIGN DRAWINGS.
- SITE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS PRIOR TO CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH "MAINE EROSION AND SEDIMENT CONTROL BMP'S" PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY OF THE MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, MARCH 2003 OR LATEST EDITION. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO POSSESS A COPY OF THE EROSION CONTROL PLAN AT ALL TIMES.
- THE CONTRACTOR IS HEREBY CAUTIONED THAT ALL SITE FEATURES SHOWN HEREON ARE BASED ON FIELD OBSERVATIONS BY THE SURVEYOR AND BY INFORMATION PROVIDED BY UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL CONTACT DIG SAFE (811) AT LEAST THREE (3) BUT NOT MORE THAN THIRTY (30) DAYS PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION TO VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES.
- CONTRACTOR SHALL BE AWARE THAT DIG SAFE ONLY NOTIFIES ITS "MEMBER" UTILITIES ABOUT THE DIG. WHEN NOTIFIED, DIG SAFE WILL ADVISE CONTRACTOR OF MEMBER UTILITIES IN THE AREA. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING AND CONTACTING NON-MEMBER UTILITIES DIRECTLY. NON-MEMBER UTILITIES MAY INCLUDE TOWN OR CITY WATER AND SEWER DISTRICTS AND SMALL LOCAL UTILITIES, AS WELL AS USG PUBLIC WORKS SYSTEMS.
- CONTRACTORS SHALL BE RESPONSIBLE FOR COMPLIANCE WITH THE REQUIREMENTS OF 23 MRSA 3360-A. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO COORDINATE WITH THE APPROPRIATE UTILITIES TO OBTAIN AUTHORIZATION PRIOR TO RELOCATION OF ANY EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS. IF A UTILITY CONFLICT ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER, THE MUNICIPALITY AND APPROPRIATE UTILITY COMPANY PRIOR TO PROCEEDING WITH ANY RELOCATION.
- ALL PAVEMENT MARKINGS AND DIRECTIONAL SIGNAGE SHOWN ON THE PLAN SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) STANDARDS.
- ALL PAVEMENT JOINTS SHALL BE SAWCUT PRIOR TO PAVING TO PROVIDE A DURABLE AND UNIFORM JOINT.
- NO HOLES, TRENCHES OR STRUCTURES SHALL BE LEFT OPEN OVERNIGHT IN ANY EXCAVATION ACCESSIBLE TO THE PUBLIC OR IN PUBLIC RIGHTS-OF-WAY.
- ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL REQUIRE A M.D.O.T. PERMIT AS WELL AS PERMITS FROM THE TOWN AS APPLICABLE.
- THE PROPOSED LIMITS OF CLEARING SHOWN HEREON ARE APPROXIMATE BASED UPON THE PROPOSED LIMITS OF SITE GRADING. THE APPLICANT RESERVES THE RIGHT TO PERFORM NORMAL FOREST MANAGEMENT ACTIVITIES OUTSIDE OF THE CLEARING LIMIT AS SHOWN. TREE REMOVAL OUTSIDE OF THE LIMITS OF CLEARING MAY BE NECESSARY TO REMOVE DEAD OR DYING TREES OR TREE LIMBS. THIS REMOVAL IS DUE TO POTENTIAL SAFETY HAZARDS AND TO PROMOTE PROPER FOREST GROWTH.
- IMMEDIATELY UPON COMPLETION OF CUTS/FILLS, THE CONTRACTOR SHALL STABILIZE DISTURBED AREAS IN ACCORDANCE WITH EROSION CONTROL NOTES AND AS SPECIFIED ON PLANS.
- THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR THE REMOVAL, REPLACEMENT AND RECTIFICATION OF ALL DAMAGED AND DEFECTIVE MATERIAL AND WORKMANSHIP IN CONNECTION WITH THE CONTRACT WORK. THE CONTRACTOR SHALL REPLACE OR REPAIR AS DIRECTED BY THE OWNER ALL SUCH DAMAGED OR DEFECTIVE MATERIALS WHICH APPEAR WITHIN A PERIOD OF ONE YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION.
- ALL WORK PERFORMED BY THE GENERAL CONTRACTOR AND/OR TRADE SUBCONTRACTOR SHALL CONFORM TO THE REQUIREMENTS OF LOCAL, STATE OR FEDERAL LAWS, AS WELL AS ANY OTHER GOVERNING REQUIREMENTS, WHETHER OR NOT SPECIFIED ON THE DRAWINGS.
- WHERE THE TERMS "APPROVED EQUAL", "OTHER APPROVED", "EQUAL TO", "ACCEPTABLE" OR OTHER GENERAL QUALIFYING TERMS ARE USED IN THESE NOTES, IT SHALL BE UNDERSTOOD THAT REFERENCE IS MADE TO THE RULING AND JUDGMENT OF SEBAGO TECHINCS, INC.
- THE GENERAL CONTRACTOR SHALL PROVIDE ALL NECESSARY PROTECTION FOR THE WORK UNTIL TURNED OVER TO THE OWNER.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF CONSTRUCTION DRAWINGS ON SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL TRADES.
- THE CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY CHANGES AND DEVIATION OF APPROVED PLANS NOT AUTHORIZED BY THE ARCHITECT/ENGINEER AND/OR CLIENT/OWNER.
- DETAILS ARE INTENDED TO SHOW END RESULT OF DESIGN. ANY MODIFICATION TO SUIT FIELD DIMENSION AND CONDITION SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO ANY WORK.
- BEFORE THE FINAL ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL EQUIPMENT AND MATERIALS, REPAIR OR REPLACE PRIVATE OR PUBLIC PROPERTY WHICH MAY HAVE BEEN DAMAGED OR DESTROYED DURING CONSTRUCTION, CLEAN THE AREAS WITHIN AND ADJACENT TO THE PROJECT WHICH HAVE BEEN OBSTRUCTED BY HISHER OPERATIONS, AND LEAVE THE PROJECT AREA NEAT AND PRESENTABLE.
- ALL SUBSURFACE UTILITY LINES SHOWN HEREON ARE BASED SOLELY ON THE FIELD LOCATION OF VISIBLE STRUCTURES, SMHS, CB'S, HYDRANTS, ETC. IN CONJUNCTION WITH DESIGN AND OR AS-BUILT PLANS SUPPLIED TO SEBAGO TECHINCS INC. BY OTHERS. PRIOR TO ANY CONSTRUCTION, EXCAVATION, TEST BORINGS, DRILLING, ETC., DIG SAFE MUST BE NOTIFIED AND A SITE IDENTIFICATION NUMBER ALONG WITH A SAFE TO DIG DATE OBTAINED. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING THE LOCATION, DEPTH AND MATERIAL OF ALL SUBSURFACE UTILITY LINES SHOWN HEREON AND ANY AND ALL OTHERS LOCATED ON SITE WITHIN THE CONSTRUCTION AREA.



## SIDEWALK TO SITES

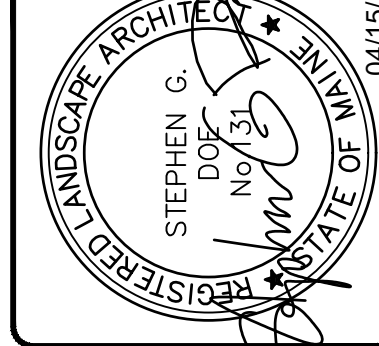
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## TYP. SUPERELEVATED ROAD SECTION

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NOT FOR CONSTRUCTION



REV.	BY	DATE	STATUS
A	SGD	04/15/21	ISSUED FOR PLANNING BOARD REVIEW

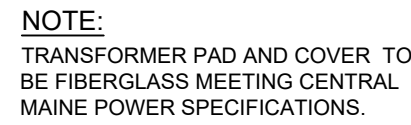


DETAILS OF:	OCEAN WOODS RESORT
FOR:	OCEAN WOODS RESORT OWNER, LLC
71 DYKE ROAD	
KENNEBUNKPORT, MAINE 04046	
2 LIVEWELL DRIVE, SUITE 203	
KENNEBUNK, MAINE 04043	

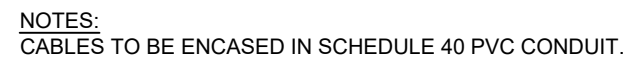
DESIGNED	SGD
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CHECKED	SGD
DATE	03/19/21
SCALE	NTS
PROJECT	19452

SHEET 9 OF 11

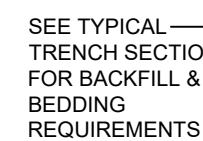




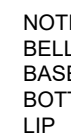
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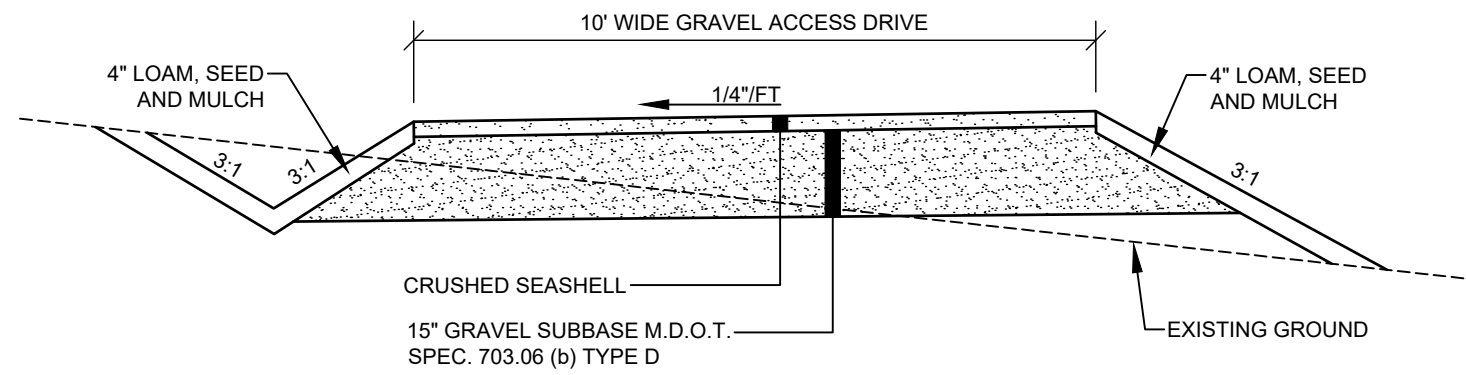
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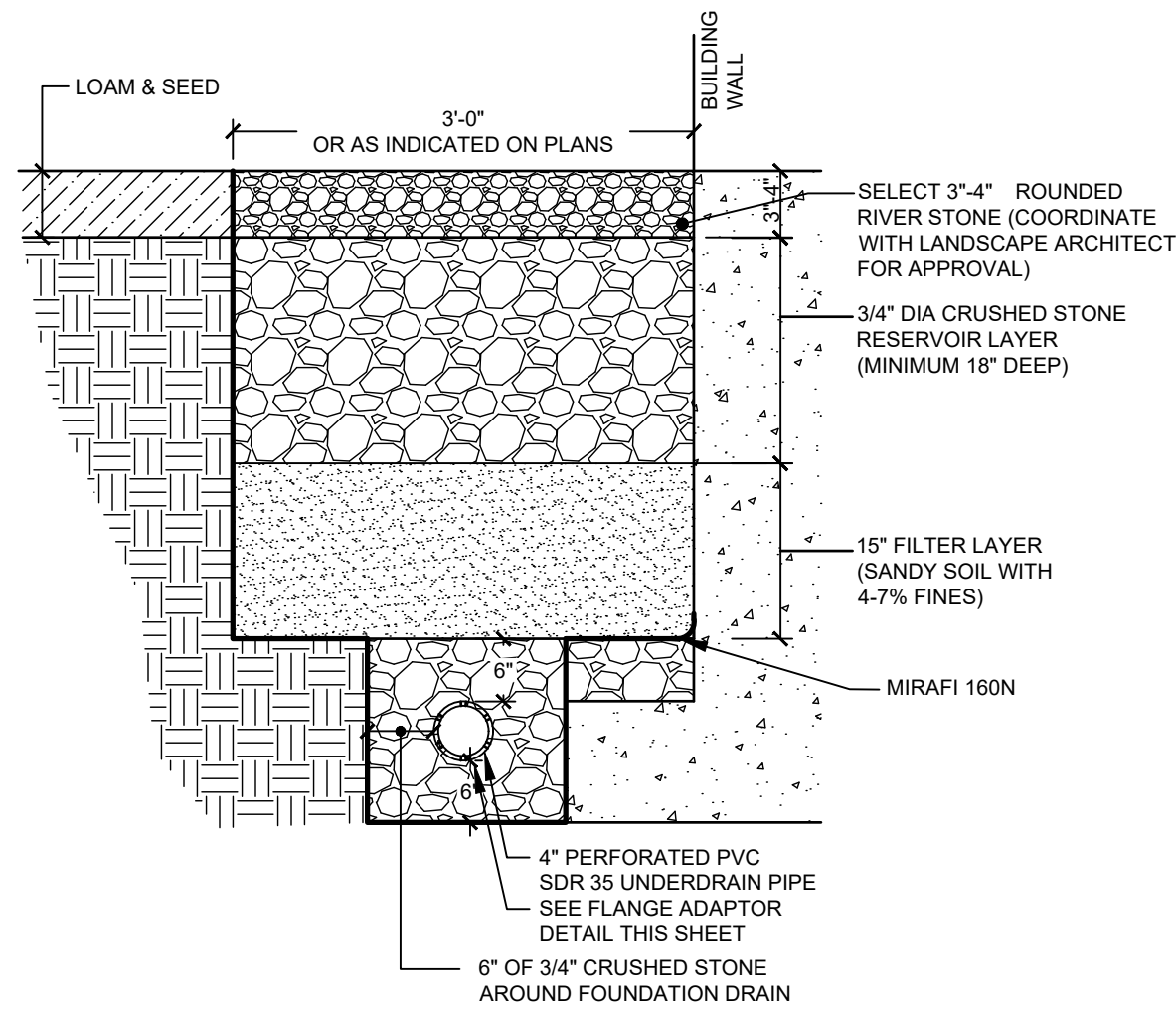
SHEET10 OF11



- NOTES:
1. COMPACT GRAVEL TO 95% MAXIMUM DRY DENSITY
  2. COMPACT ALL UNDISTURBED MATERIAL PRIOR TO PLACEMENT OF SUBBASE COURSE FOR GRAVEL DRIVEWAY.

### DRIVEWAY SECTION

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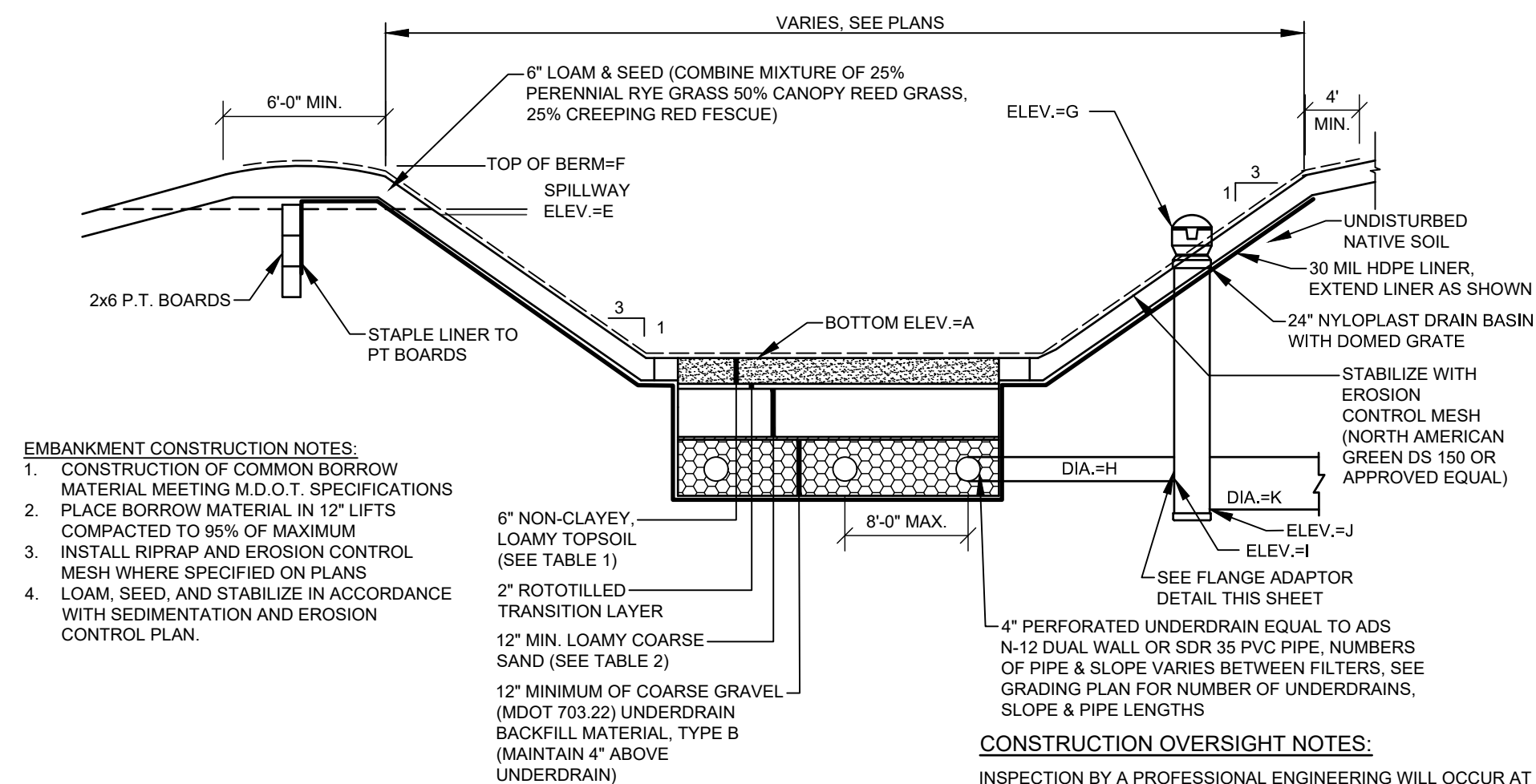


#### CONSTRUCTION OVERSIGHT NOTES:

INSPECTIONS BY A PROFESSIONAL ENGINEER SHALL CONSIST OF WEEKLY VISITS TO THE SITE TO INSPECT THE CONSTRUCTION AND STABILIZATION OF THE PROPOSED ROOF FILTER AND ITS FILTER COURSE MATERIAL AND STONE RESERVOIR COURSE. INSPECTIONS SHALL CONSIST OF AN APPROPRIATE NUMBER OF VISITS TO THE SITE TO INSPECT THE FILTER BED MATERIAL PLACEMENT AND COMPACTION, STORAGE COURSE, FABRIC, AND PIPING; FROM INITIAL GROUND DISTURBANCE TO FINAL PLACEMENT.

### DRIP EDGE FILTER/FOUNDATION DRAIN

NOT TO SCALE



- EMBANKMENT CONSTRUCTION NOTES:
1. CONSTRUCTION OF COMMON BORROW MATERIAL MEETING M.D.O.T. SPECIFICATIONS
  2. PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAXIMUM
  3. INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS
  4. LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

TABLE 1	
NON-CLAYEY, LOAMY TOPSOIL	
SIEVE SIZE	% PASSING BY WEIGHT
#4	75-95
#10	60-90
#40	35-85
#200	20-70
CLAY FRACTION	0-2

TABLE 2	
LOAMY COARSE SAND LAYER	
SIEVE SIZE	% PASSING BY WEIGHT
#10	85-100
#20	70-100
#60	15-50
#200	8-15
CLAY FRACTION	0-2

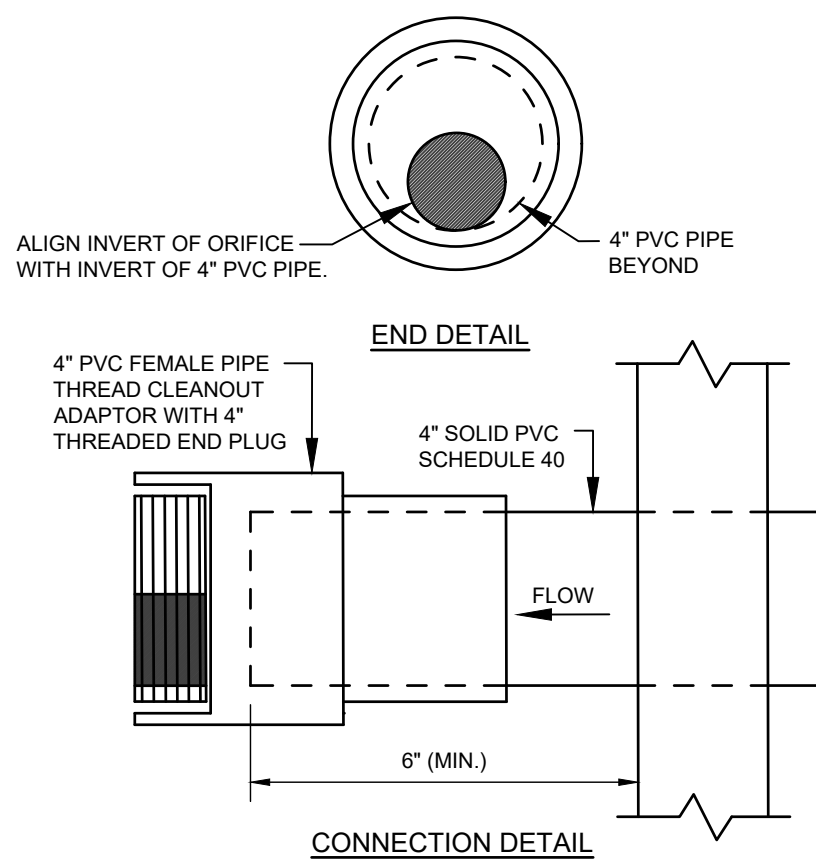
NOTE: SUPERHUMUS OR EQUIVALENT.

#### CONSTRUCTION OVERSIGHT NOTES:

INSPECTION BY A PROFESSIONAL ENGINEERING WILL OCCUR AT A MINIMUM. AFTER THE PRELIMINARY CONSTRUCTION OF THE FILTER GRADES AND ONCE THE UNDERDRAIN LAYER IS INSTALLED BUT NOT BACKFILLED. AFTER THE DRAINAGE LAYER IS CONSTRUCTED AND PRIOR TO THE INSTALLATION OF THE FILTER MEDIA. AFTER THE FILTER MEDIA HAS BEEN INSTALLED AND SEEDED, BIO-RETENTION CELLS MUST BE STABILIZED PER THE PROVIDED PLANTING SCHEME AND DENSITY FOR THE CANOPY COVERAGE OF 30 AND 50%. AFTER ONE YEAR TO INSPECT HEALTH OF VEGETATION AND MAKE CORRECTIONS. ALL THE MATERIAL USED FOR THE CONSTRUCTION OF THE FILTER BASIN MUST BE CONFIRMED AS SUITABLE BY THE DESIGN ENGINEER. TESTING MUST BE DONE BY A CERTIFIED LABORATORY TO SHOW THAT THEY ARE PASSING DEP SPECIFICATIONS. WITHIN 30 DAYS OF COMPLETION OF THE UNDERDRAINED SOIL FILTERS, THE APPLICANT MUST SUBMIT A LOG OF INSPECTION REPORTS DETAILING THE ITEMS INSPECTED, PHOTOS TAKEN, AND THE DATES OF EACH INSPECTION TO THE BUREAU OF LAND RESOURCES FOR REVIEW.

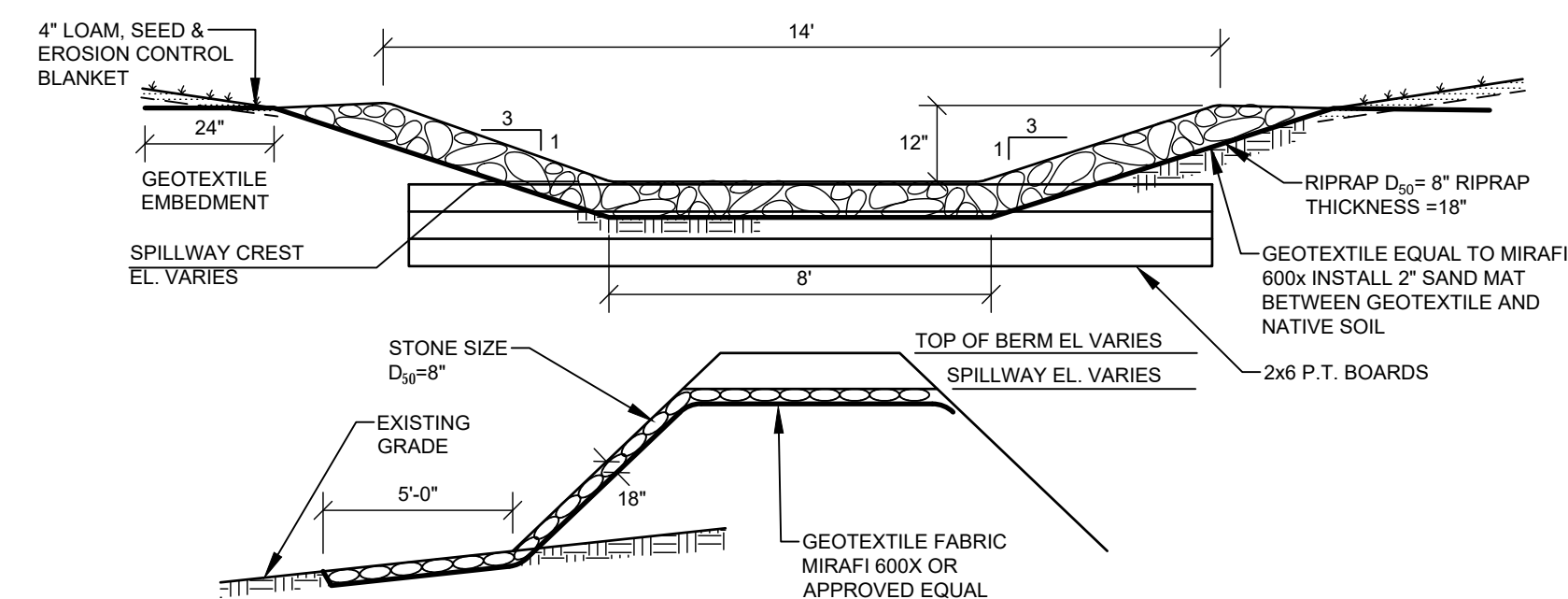
### UNDERDRAINED SOIL FILTER

NOT TO SCALE



### FLANGE ADAPTOR DETAIL

NOT TO SCALE

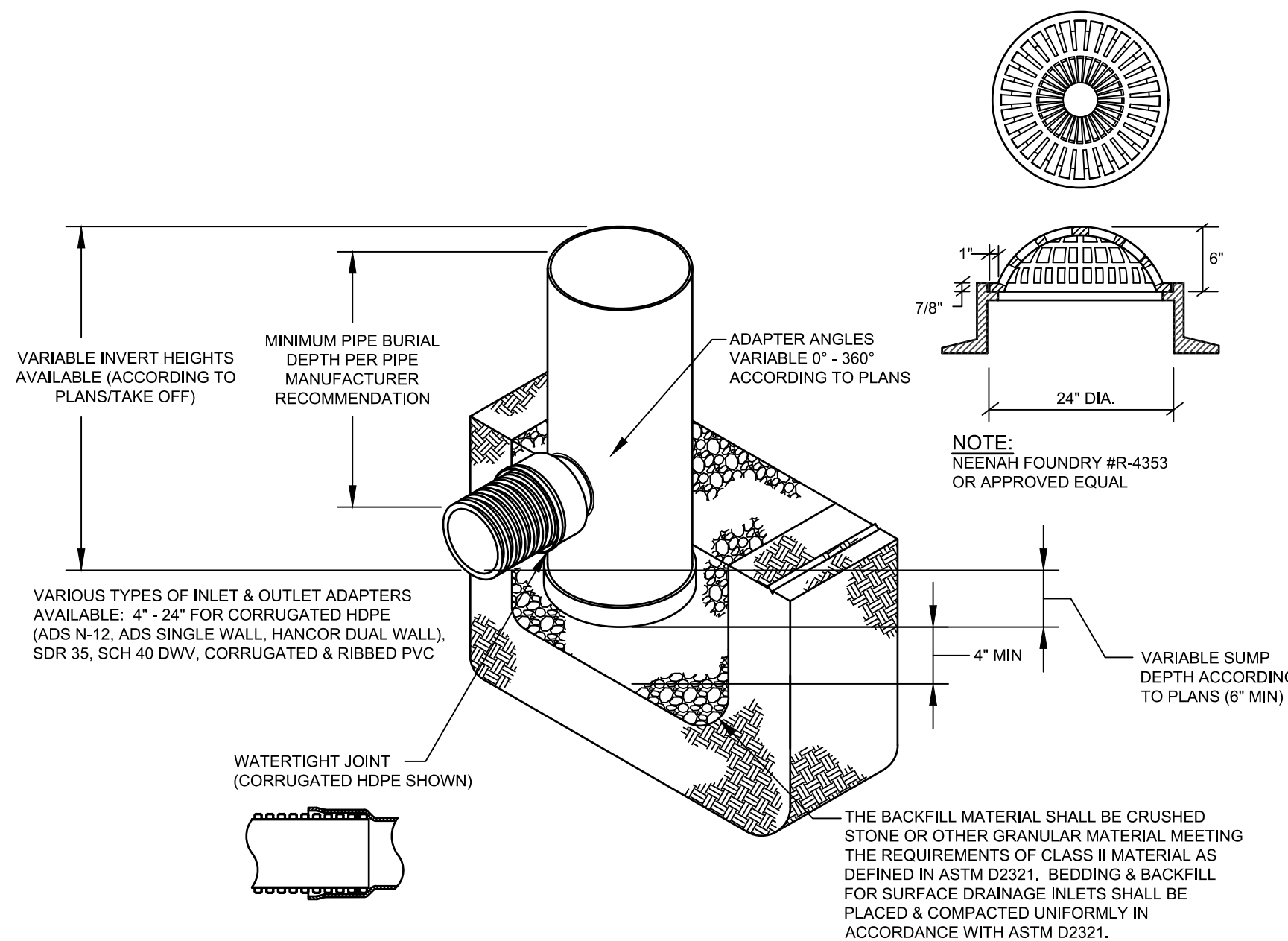


#### EMBANKMENT CONSTRUCTION

1. CONSTRUCTION OF COMMON BORROW MATERIAL MEETING M.D.O.T. SPECIFICATION.
2. PLACE BORROW MATERIAL IN 12" LIFTS COMPACTED TO 95% OF MAXIMUM DRY DENSITY.
3. INSTALL RIPRAP AND EROSION CONTROL MESH WHERE SPECIFIED ON PLANS
4. LOAM, SEED, AND STABILIZE IN ACCORDANCE WITH SEDIMENTATION AND EROSION CONTROL PLAN.

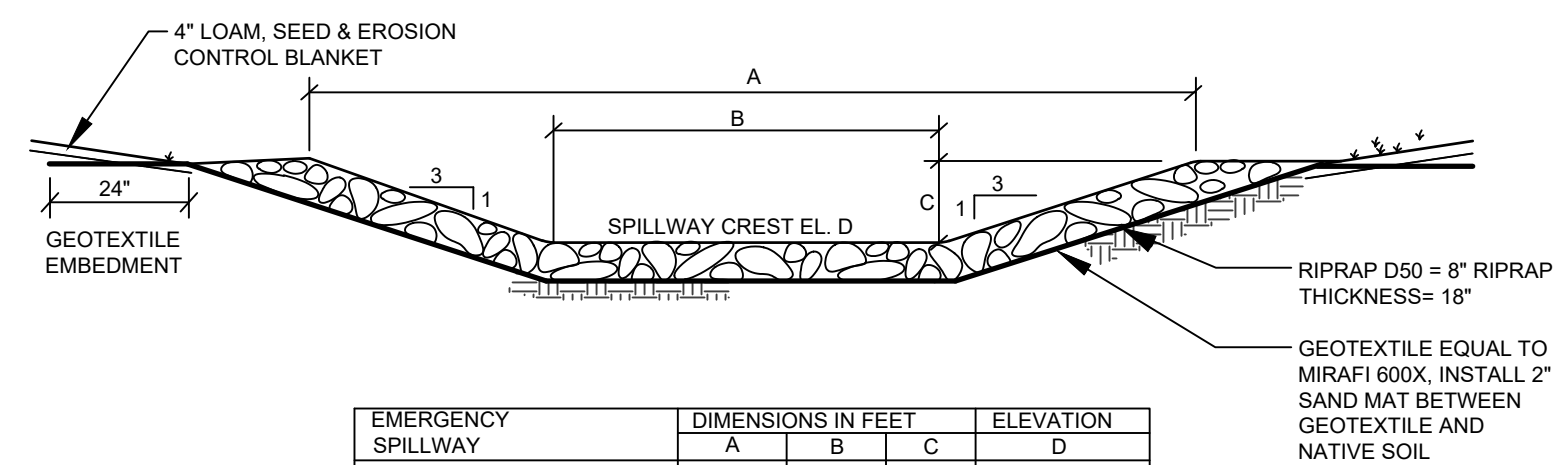
### SPILLWAY SECTION

NOT TO SCALE



### NYLOPLAST DRAIN BASIN

NOT TO SCALE

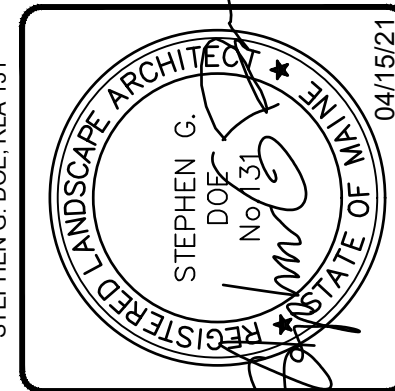


EMERGENCY SPILLWAY	DIMENSIONS IN FEET				ELEVATION
	A	B	C	D	
UDSF-1 FOREBAY	11.00	9.00	1.00	12.50	
UDSF-2 FOREBAY	10.00	8.00	1.00	24.00	

### FOREBAY SPILLWAY CROSS-SECTION

NOT TO SCALE

NOT FOR CONSTRUCTION



REV.	BY	DATE	STATUS
A	SGD	04/15/21	ISSUED FOR PLANNING BOARD REVIEW



DETAILS OF:	OCEAN WOODS RESORT
FOR:	OCEAN WOODS RESORT OWNER, LLC
	71 DYKE ROAD, KENNEBUNKPORT, MAINE 04046
	2 LIVEWELL DRIVE, SUITE 203, KENNEBUNK, MAINE 04043

DESIGNED	SGD
DRAWN	SRC
CHECKED	SGD
DATE	03/19/21
SCALE	NTS
PROJECT	19452

